

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
MARCH 9, 2015**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider the minutes of the February 23, 2015 Plan Commission meeting.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. Consider the request of Peter Kucha, of Eppstein Uhen Architects, Inc., agent for Uline for approval of **Preliminary Site and Operational Plans** for mass grading and preliminary approval of an office building and site improvements for a Uline Headquarters Office building (H2) generally located at the 11200 block of 120th Avenue (West Frontage Road).
 - B. Consider the request of John Semcken III, Senior Vice President of Majestic Realty Co. for approval of a **one year time extension of the Site and Operational Plans** as conditionally approved by the Plan Commission on May 13, 2014 for the Majestic Center Development on 88th Avenue about ¼ mile south of Bain Station Road.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
February 23, 2015**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on February 23, 2015. Those in attendance were Thomas Terwall; Donald Hackbarth; Wayne Koessl; Deb Skarda (Alternate #2); Jim Bandura; John Braig; Judy Juliana; and Bill Stoebig (Alternate #1). Michael Serpe was excused. Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE JANUARY 26, 2015 PLAN COMMISSION MEETING.**

Judy Juliana:

Move to approve.

Don Hackbarth:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JUDY JULIANA AND SECONDED BY DON HACKBARTH TO APPROVE THE MINUTES OF THE JANUARY 26TH PLAN COMMISSION IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Jean Werbie-Harris:

You indicated January 26th correct?

Tom Terwall:

Yes.

4. CORRESPONDENCE.

5. CITIZEN COMMENTS.

Tom Terwall:

If you're here for Item A on the agenda which is a public hearing, we would ask that you hold your comments until the public hearing is held so we can incorporate your comments as a part of the official record. However, if you're here for an item that is not a public hearing or you want to raise an issue that is not on the agenda now would be your opportunity to do so. We'd ask you to step to the microphone and begin by giving us your name and address. Is there anybody wishing to speak under citizens' comments?

6. NEW BUSINESS

A. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT to Section 420-137 C and E of the PUD, Planned Unit Development Overlay District to clarify what items may be modified and included in a specific PUD Ordinance.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and audience, before you is consideration of zoning text amendment to Section 420-137 C and E of the PUD, Planned Unit Development Overlay District, to clarify what items may be modified and included in a specific PUD Ordinance.

On January 26, 2015, the Village Board had adopted Resolution #15-05 to initiate amendments to the Village Zoning Ordinance to re-evaluate the Planned Unit Development Overlay District regulations, specifically Section 420-137, to clarify that dimensional and design standards may be modified by a PUD but principal, accessory or conditional uses are only specified in the underlying district.

Section 420-17 C and E are proposed to be amended to read as follows. Those items that I'm going to be reading that are highlighted in yellow are new, and the words that are in red are being stricken.

For paragraph C, principal, accessory and conditional uses. Principal, accessory and conditional uses permitted in a planned unit development overlay district shall conform to uses permitted in the underlying basic use district, except that the PUD Overlay District may prohibit certain permitted principal, accessory and conditional uses specified in the basic use district, as determined by the Village Board.

And paragraph E, modifications allowed. The PUD Overlay District may also modify, with approval of the Village Board, dimensional requirements including but not limited to setbacks, structure height, lot width and area requirements of the underlying basic zoning district. In addition the PUD Overlay District may also modify, with approval of the Village Board other sections of the Zoning Ordinance including but not limited to traffic, parking and access requirements and sign requirements.

This is a matter for public hearing.

Tom Terwall:

Is there anybody wishing to speak on this matter? Anybody wishing to speak? Anybody wishing to speak? Hearing none, I'm going to open it up to comments from Commissioners and staff.

Jim Bandura:

Just a quick one. Question to staff. This isn't going to open up a can of worms? If there's two entities coming before the Boards or whatever is there going to be like a he said/she said? Could there be any discrepancies?

Jean Werbie-Harris:

I don't think so. Our PUD ordinance that we typically put together is very specific, and it's very unique to a set of plans being approved by the Plan Commission and Board for a particular property. They're not generic at all in nature, and they're very unique to the facts being presented. So with each plan and with each project it's up to the Plan Commission to make recommendation and the Board to make the final decision based on the specifics on merit.

Tom Terwall:

No comments? What's your pleasure?

Jim Bandura:

I would move for approval.

John Braig:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY JOHN BRAIG TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE AMENDMENT AS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

B. Consider the request of Walter and Mollie Wiesztort for a Lot Line Adjustment between their property at 4122 93rd Street and the property to the north located at 9261 42nd Avenue owned by Brian and Angeline Kielar.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, Item B is to consider the request of Walter and Mollie Wiesztort for a lot line adjustment between their property at 4122 93rd Street and the property to the north located at 9261 42nd Avenue owned by Brian and Angeline Kielar.

The properties located at 4122 93rd Street, Lot 1 of CSM 2308 and further identified as Tax Parcel Number 92-4-122-144-0131 owned by Walter and Mollie Wiesztort, and 9261 42nd Avenue, which is Lot 3 of CSM 2308 and further identified as Tax Parcel Number 92-4-122-144-0133 owned by Brian and Angeline Kielar Revocable Trust, are proposed to be adjusted.

Specifically, four feet is being added to the rear of the Wiesztort lot from the side of Kielar lot. Both properties are zoned R-4, Urban Single Family Residential District, which requires lots to be a minimum of 15,000 square feet. After the adjustment both lots will continue to meet the minimum lot area of the R-4 District. The lot line adjustment and will comply with the requirements set forth in the Village Zoning Ordinance and Land Division and Development Control Ordinance.

There is a representative here if you have any questions. But it had to do with a fence being placed on the lot. And they would like the fence to go with the lot that requested the fence in the first place.

Don Hackbarth:

Is this to require the 15,000 square feet, cutting that additional?

Jean Werbie-Harris:

They both still will have the 15,000 square feet.

Jim Bandura:

So this is just the four feet adding onto it is because the fence is there?

Jean Werbie-Harris:

Yes.

Jim Bandura:

Okay.

Wayne Koessler:

Mr. Chairman, not unless there's more questions I'd move approval.

Don Hackbarth:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY DON HACKBARTH TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE LOT LINE ADJUSTMENT AS INDICATED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

7. ADJOURN.

John Braig:

Move adjournment.

Judy Juliana:

Second.

Tom Terwall:

It's been moved and seconded that we adjourn. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Meeting Adjourned: 6:08 p.m.

- A. Consider the request of Peter Kucha, of Eppstein Uhen Architects, Inc., agent for Uline for approval of **Preliminary Site and Operational Plans** for mass grading and preliminary approval of an office building and site improvements for a Uline Headquarters Office building (H2) generally located at the 11200 block of 120th Avenue (West Frontage Road).

Recommendation: Village staff recommends that the Plan Commission approve the **Preliminary Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of March 9, 2015.

VILLAGE STAFF REPORT OF MARCH 9, 2015

Consider the request of Peter Kucha, of Eppstein Uhen Architects, Inc., agent for Uline for approval of **Preliminary Site and Operational Plans** for mass grading and preliminary approval of an office building and site improvements for a Uline Headquarters Office building (H2) generally located at the 11200 block of 120th Avenue (West Frontage Road).

The petitioner is requesting approval of Preliminary Site and Operational Plans for the mass grading and preliminary approval of an office building and site improvements for a Uline Headquarters Office building (H2) generally located at the 11200 block of 120th Avenue (West Frontage Road) in the Village, Tax Parcel Numbers 91-4-121-254-0122, 91-4-121-254-0401 and 91-4-121-254-0402.

The properties are currently owned by the Village of Pleasant Prairie Community Development Authority and are intended to be purchased by Uline and combined into one parcel (by a Certified Survey Map) and developed with an approximate 298,000 square foot office building. The land lying to the west (Tax Parcel Number 91-4-121-254-0301) within the Village will have public sanitary sewer and water extended in an easement through the Uline site. Access to develop the site lying to the west will be from the south from 116th Street.

Pursuant to the application, due to Uline's continued growth the company needs additional office space to support its operations. Uline sees tremendous operational benefits in locating the new facility on the 37 acre which is close to its current Corporate Headquarters facility for the following reasons:

- Maintain the Company Culture - Uline is still a family owned and operated company. By keeping employees close to the family and other employees the company culture is maintained.
- Corporate Managers will continue to be located in close proximity to one another at various facilities in Pleasant Prairie. This helps to facilitate impromptu and frequent face to face meetings between managers. This allows for efficient communication and quick decision making which is a cornerstone of Uline's success.
- Department Managers, that will be located in the new facility, are required to meet frequently and on short notice at the company president's offices at 12575 Uline Drive.
- Many of the staff, that will be located in the facility, need to visit the various Uline distribution centers and warehouses, in Pleasant Prairie, to inspect product for quality, review and test new products and meet with vendors.

ULINE's proposed (H2) Corporate Office Building Project will consist of the following: a building and associated parking will be located on 37.3 acres of land with a 298,000 square foot office building including a 78,000 square foot basement. The building will be three (3) stories. The building design will be very similar to that of Uline's existing H1 headquarters office building. The basement will contain the main electrical and mechanical rooms and storage space. A shipping/receiving area with two (2) loading docks and a compactor bay will located on the southwest end of the building. The first floor will include a main lobby, training rooms and an associated breakout area, office space and a fitness center. The second floor will include kitchen/serverly and dining space, conference rooms and office space. The third floor will contain office space and some conference rooms. The primary use of the facility is business office use. The building will be provided with four (4) elevators that serve each floor level. Two (2) of the elevators are sized to accommodate ambulance stretchers.

Along the east, north and south elevations the building height will be 61 feet. Along the west elevation, where the basement will be partially exposed, the overall building height will be up to 80 feet. The building exterior will consist of precast concrete panels, cedar paneling and ashlar stone veneer with a standing seam metal roof on the pitched roof portions of the building.

A utility building with pump house, cooling tower and back-up generator will be located south of the office building.

When the building is complete in early 2017, the new corporate office is projected to have 500 initial employees with capacity for 800 employees at full build out. As part of the development, 877 parking spaces will be provided adjacent to the office building.

NOI approvals/permits are required to be submitted to the Village from the WI DNR and ACOE for filling on the site. Mass grading for the site is anticipated to begin in June, 2015 with substantial completion anticipated for January 2017.

The properties are currently zoned M-5, Production and Manufacturing District, which allows for an office building as proposed. In addition, a portion of the property is also located within the 100-year floodplain. The petitioners intend to amend the location of the 100-year floodplain and mitigate wetlands on the property for site development. The Floodplain Boundary Adjustment application is proposed to be filed later this spring. This site is also subject to shoreland regulations, which requires a Stipulated Shoreland Permit to be issued for any work completed within 75 feet of the Ordinary High Water Mark of the navigable waterway.

Final Site and Operational Plans will be required to be submitted to the Village for review and approval for the detailed building and site improvements.

Village staff recommends conditional approval of the Preliminary Site and Operational Plans for the mass grading of the property subject to the following conditions:

1. This approval is valid for six (6) months (until September 9, 2015). Prior to the expiration of this approval, the required Erosion Control Permit plans, application and related fees shall be submitted to the Village.
2. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the Design Engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Preliminary Site and Operational Plans. Three (3) revised plan sets and a pdf of the plans, along with notations on this memorandum explaining how each of the items below have been addressed shall be submitted for final staff review and approval prior to issuance of the Erosion Control Permit for mass grading:**
 - a. Interstate Highway 94 should be labeled as IH-94 or I-94 not I.H.S. 94.
 - b. What is the Point of Navigable Water way on Sheet C-2? Is it measuring a setback to an adjacent structure? What is the elevation?
 - c. Label/define C.U.P. in the plan sheet on Sheet C-4.
 - d. The 102th Avenue right-of-way shall be labeled and shown on the plans. The proposed monument sign appears to be located in the 120th Avenue Frontage Road right-of-way and must be set back 15 feet from the edge of the right-of-

way. Also, on Sheet C-7 it appears that the sign is located on top of the storm sewer.

- e. Which manhole is the sanitary sewer sampling manhole?
- f. Wetland Fill and Notice of Intent Permits, Erosion Control Permit and a Street Sweeping Bond shall be provided prior to mass grading.
- g. The proposed sign appears to be located directly on top of a storm sewer. Relocate.
- h. Show building and parking area/maneuvering lane setbacks to nearest property lines.
- i. Uline is working and coordinating with We Energies and the Village to have the overhead electric wires in 120th Avenue buried. Provide a status update.
- j. The following comments relate specifically to the on-site Civil Engineering Infrastructure Plans:
 - i. All sheets:
 - (1) Label the adjacent parcels with tax parcel numbers and owner's names.
 - (2) Rename the "30-foot public utility easement" to "Dedicated 30' Public Sanitary Sewer Main, Public Water Main, Access and Maintenance Easement."
 - ii. Site Dimensional & Paving Plans (Sheets C-3 & C-4):
 - (1) Revise note 16 (Asphaltic Concrete Paving Specifications) to utilize the current edition of the State Highway Specifications.
 - (2) Show travel directions of any one way traffic locations on the site plans.
 - (3) Additional plans and details will be required for 120th Avenue improvements.
 - iii. Grading Plan (Sheets C-5 & C-6):
 - (1) Revise Note 16 to state "Village of Pleasant Prairie" instead of "Kenosha County".
 - (2) Add cross slopes to driveways. 2% typical, 1% minimum.
 - (3) Consider adding sidewalk between the north parking lots and the building.
 - (4) Show all storm sewer piping, inlets and manholes on the grading plan sheets.
 - (5) Label the pond emergency overflow spillways on the plans.
 - (6) Grading south of the C.U.P. appears to encroach into waterway. This shall be evaluated by the design engineer.
 - iv. Utility Plan (Sheets C-7 & C-8):
 - (1) Show locations of known drain tile connections to the storm sewer.

- (2) Extend the sanitary sewer and water main access and maintenance easement to include the hydrants attached to the public water main.
- (3) Is it necessary to have the sewer 20' deep at the building connection?
- (4) Provide plan and profile(s) for the public sewer and water main.
- (5) Clarify the purpose of CB 30.0? It is located north of the quarter section line and it appears not to be at a low point.
- (6) Show existing storm sewer(s) on the plans sheets.
- (7) Label proposed water main information.
- (8) All storm sewers within the right of way shall be RCP (minimum of CL III).
- (9) Install water main valves at the edge of the right of way and within the easement on the private water main service branch. Install additional valves as may be required by the WDNR.
- (10) Install a hydrant at the end of the public water main for flushing.
- (11) Label the size of the culvert located at the south entrance. This culvert will need to be part of the floodplain analysis, as it is within the waterway.
- (12) Several inlet rim elevations are lower than the pond HWL. The pond's established flood stage or storm sewer rim elevations shall be adjusted so the high water elevation is contained within the pond / storm sewer system.
- (13) Label the size of existing public utilities on the plans.
- v. Site Stabilization Plan (Sheets C-9 & C-10):
 - (1) Label the rip rap size on the plans.
 - (2) Over excavate the pond used for sediment control during construction or add a note to remove sediment to design grade near project completion.
- vi. Construction Details (Sheets C-11 to C-14):
 - (1) Replace the Village Hydrant Detail with the updated version (See **attached**).
 - (2) The outlet pipe size noted for pond 3 does not match the pipe size labeled in sheet C-8. Correct the mislabeled size.
- k. The following comments related to the Conceptual Stormwater Plan:
 - i. Use the NOAA Atlas 14 Point Precipitation for the rainfall intensities: http://hdsc.nws.noaa.gov/hdsc/pfds/pfds_map_cont.html?bkmrk=wi
 - ii. The summary for Pond 1 (No Tailwater) scenario is missing from the report.
 - iii. Verify that the outlet pipe for Pond 3 is correct in the model.

- iv. Include calculations and a drainage area map for the offsite stormwater diverted around the west side of the site.
- I. The following are additional general comments from the Engineering Department:
- i. Provide sanitary sewer and water main extension permit applications for review and approval. The Village will submit plans to the Kenosha Water / Wastewater Utility for their review upon Village approval of the sanitary sewer and water main plans. Plan submittal to the WDNR is to be completed by the Developer's engineer after Village and Kenosha Water / Utility approval of the plans.
 - ii. The design engineer or fire protection designer shall verify that adequate fire flow requirements are met for the building. Fire flow calculations shall be provided for the water extension.
 - iii. SEWRPC "208" letter will need to be obtained for the public sanitary sewer extension. SEWRPC will not issue a "208" letter without prior plan approval from KWU.
 - iv. Provide calculation for all channel erosion control and rip rap installation.
 - v. The Village anticipates contracting with Pinnacle Engineering Group for necessary 120th Avenue roadway modifications upon Pinnacle's completion of evaluating the floodplain and further defining the scope of work for the improvements.
 - vi. The estimate of the amount of import or export of fill needed for the site grading shall be provided.
 - vii. The Engineering Department will require an electronic pdf of all approved civil engineering and stormwater plans.
 - viii. As-built graphical data of all private sewer, water, and storm sewer facilities shall be provided to update the Village's Geographical Information System. Information shall conform to the Village's format requirements
 - ix. A record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all water main, sanitary sewer(s), and storm sewer(s) shall be prepared by the Engineer of Record for the project.
3. Subject to compliance with the **attached** comments from the Village Fire & Rescue Department dated February 23, 2015.
4. Upon approval of the revised Preliminary Site and Operational Plans, the following shall be submitted to commence for mass grading and underground storm utility work:
- a. Written approval from any easement holder(s) for proposed grading, utility, and/or other work within easement limits shall be provided to the Village.
 - b. An electronic pdf of the approved Preliminary Site and Operational Plans shall be provided to the Village.
 - c. A copy of the Wisconsin Department of Natural Resources Notice of Intent (N.O.I.) shall be provided to the Village.

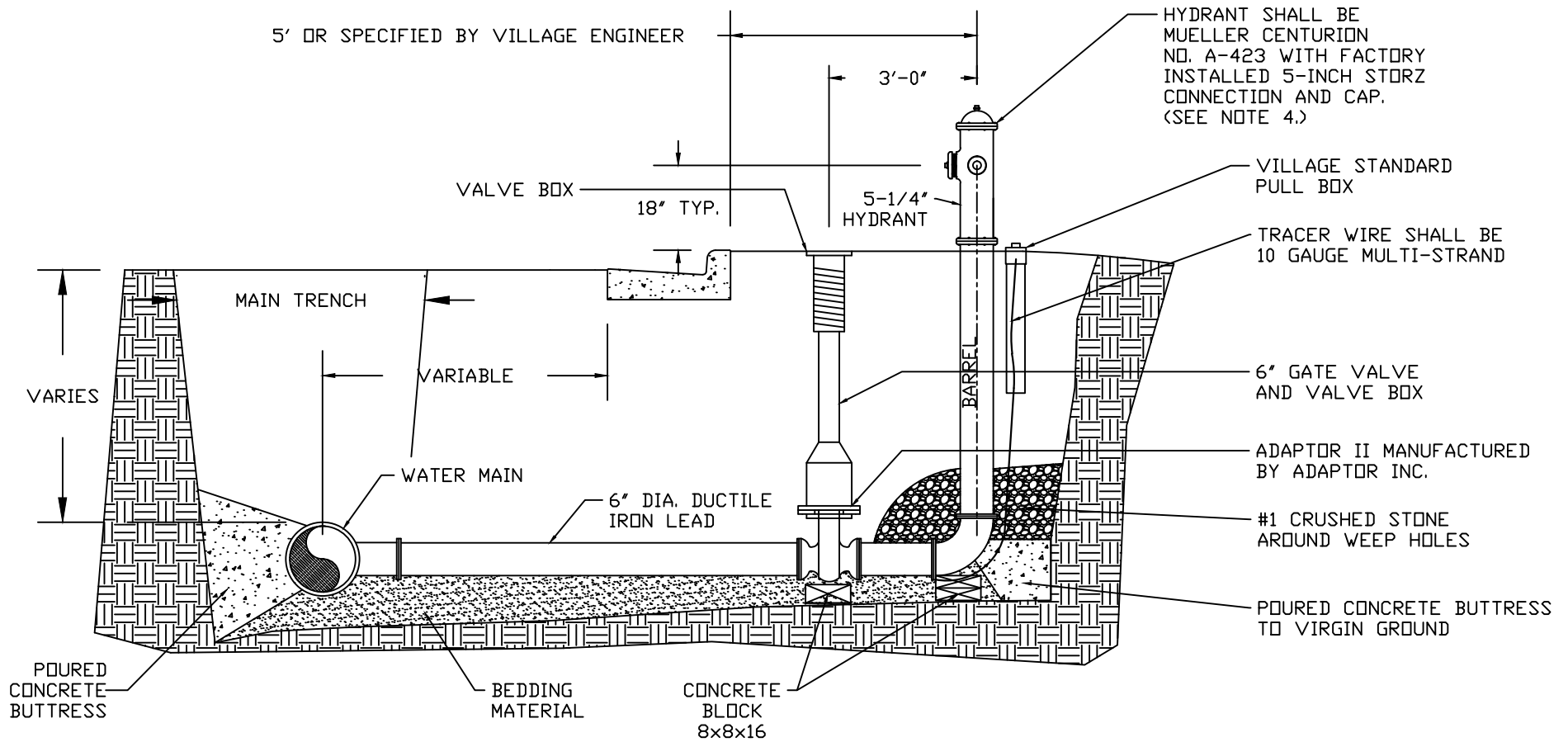
- d. WDNR and ACOE approval/ permit(s) will need to be obtained for the proposed wetland fill locations. A copy of the wetland fill permits shall be provided to the Village.
 - e. A Chapter 30 permit from the WDNR for work within the navigable waterway will need to be obtained. A copy of the permit shall be provided to the Village.
 - f. A WDOT permit / approval will need to be obtained for work and driveways within the West Frontage Road (120th Avenue) right-of-way. A copy of the permit shall be provided to the Village.
 - g. A Stipulated Shoreland Permit shall be submitted and issued (20 day notice period is required) for any work proposed within 75 feet of the OHWM as discussed above.
 - h. A floodplain boundary adjustment is being proposed as part of the project. The floodplain adjustment will need to follow Village ordinances and procedure and filed with the Community Development Department. Floodplain adjustment information shall be submitted for review. Prior to any work within the 100-year floodplain a Conditional Letter of Map Amendment from FEMA shall be submitted.
 - i. The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project, if the amount is not drawn upon by the Village or Kenosha County in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process.
 - j. The Certified Survey Map shall be approved and recorded prior to issuance of the Erosion Control Permit and the property shall be owned by Uline. See additional comments below regarding the CSM.
 - k. Prior to the issuance of the mass grading or early footing and foundation permits, a Development Agreement between the Village and Route 165 LLC shall be approved by the Village Board executed by the Village President and Village Clerk.
5. A pre-construction conference shall be held at the Village Offices. The preconstruction conference shall be scheduled, moderated and documented by the Design Engineer of Record between 5/15/15 and 6/1/15 prior to obtaining permits and beginning mass grading. Contact Jean Werbie-Harris (262) 925-6717 to coordinate this pre-construction meeting at the Village offices. The Village can provide a sample agenda to the Design Engineer. Emergency contact information and a construction schedule shall be provided at the pre-construction meeting. Written minutes shall be provided to all participants with seven days of the meeting.
6. Silt fence shall be installed and inspected by Pleasant Prairie prior to any work starting.
7. The Certified Survey Map shall be finalized and approved by the Village Plan Commission and Village Board prior to the closing tentatively scheduled for May 15, 2015. The following changes shall be included and a revised CSM with the required application and application fee shall be submitted to the Village:
- a. Since the CSM is being used as a closing document with the Village CDA— then the Village Community Development Authority, Executive Director,

Michael R. Pollocoff shall be executing the CSM as the owner not Route 165, LLC.

- b. Change the utility easement to a "Dedicated 30' Public Sanitary Sewer and Public Water Main, Access and Maintenance Easement".
 - c. Label the drainage basin easement areas as a "Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement".
 - d. Label the access and maintenance easement areas as a "Dedicated Storm Water Drainage, Access and Maintenance Easement".
 - e. Label 102th Avenue as "120th Avenue (West Frontage Road)" "Dedicated Public Street".
 - f. Label D as "Dedicated Public Street".
 - g. Label the remaining non-filled wetlands on the property as a "Dedicated Wetland Preservation and Protection, Access and Maintenance Easement" areas.
 - h. Label the remaining Floodplain on the property as "Dedicated Floodplain Preservation and Protection, Access and Maintenance Easement" areas.
 - i. Change dates for witness and notary block to 2015.
 - j. The Village Board and Plan Commission signatures shall read:
 - i. John P. Steinbrink
 - ii. Jane M. Romanowski
 - iii. Thomas W. Terwall
 - iv. Donald Hackbarth – does not need to be on the CSM, remove name
 - k. Consent of the Corporate Mortgagee is not needed as it is owned by the Village Community Development Authority.
 - l. Each of the remaining wetland areas shall be labeled as Wetland Area 1, Wetland Area 2 ... and shall be legally described and total area provided in acres on this CSM.
 - m. See Dedication and Easement Language as **attached** to be added to the CSM.
8. Final Site and Operational Plans are required to be submitted and reviewed and approved by the Plan Commission prior to building/zoning permits are issued for other site and building improvements.
 9. The Final Site and Operational Plan shall include a lighting plan, signage plan and landscape and open space plan.
 10. The primary monument sign shall include the street address of the Corporate Office building (including the street number(s) and the name of the street).
 11. Lighting standards shall be placed on 2 foot concrete bases.
 12. The address of the H2 building will be determined by the Village and provided to the owner.
 13. Upon Village approval of the revised Final Site and Operational Plans two (2) sets of State approved Plans may be submitted for Building Permit review and issuance of the required permits. The Final Site and Operational Plans shall be identical to the State approved plans. If plans are approved by the State prior to having all of the

required changes made pursuant to this memorandum, then a corrected plan set with notation to this memorandum shall be provided to the Village staff.

14. Upon Completion of the floodplain boundary adjustment and wetland mitigate (if applicable) the petitioner shall submit a request to amend the Village Comprehensive Land Use Plan to correctly identify any wetland and the amended location of the 100-year floodplain. In addition, a zoning map amendment will be required to amend the C-1 District location and the FPO, Floodplain Overlay District. (The specific requirements related to this will be discussed in greater detail at the public hearing related to the floodplain boundary adjustment to be scheduled this spring.)
15. General Comments:
 - a. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 6:00 a.m. to 9:00 p.m. and Saturday and Sunday from 6:00 a.m. to 6:00 p.m. Notify the Village CD Director if earlier summer construction hours are being requested.
 - b. There shall be no construction equipment or contractor parking permitted on 120th Avenue (West Frontage Road). On-site (off-street) parking shall be designed to accommodate all construction related equipment, workers and site visitors.
 - c. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in State rights-of-way. All construction related signage shall be approved and permitted by the Village.
 - d. The owner shall comply with all provisions of the Preliminary Site & Operational Plan approvals, including compliance with the Village Performance Standards.
 - e. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 - f. During dry summer/fall conditions, site watering may be required by the Village to minimize dust conditions.



- NOTES:
1. MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
 2. ALL BOLTS SHALL BE STAINLESS STEEL BOLTS.
 3. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION
 4. HYDRANT SPECIFICATIONS - 2 EACH 2-1/2 INCH NST NOZZLE, 1 FACTORY INSTALLED 5-INCH STORZ CONNECTION AND CAP MANUFACTURED BY MUELLER.
 5. PAINT SPECIFICATION - PLEASE REFER TO VS-0400 OF THE VILLAGE CONSTRUCTION SPECIFICATIONS.

SCALE: NTS

Standard Hydrant Assembly

DETAIL: W - 1

CREATED: 11-26-12

REVISED: 1-26-15

APPROVED BY: MATT FINEOUR



VILLAGE OF
PLEASANT
PRAIRIE



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire and Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire and Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Uline Headquarters H2
DATE: 23 February 2015

Overview: The proposed project calls for the construction of a new corporate office building for the Uline Corporation. The building will be located south of 104th Street on the west frontage road. The proposed size is 298,000 sq. ft.

Applicable Codes: The Owner and Fire Protection contractors need to review Village of Pleasant Prairie Ordinance Chapter 180 Fire and Rescue prior to submitting any plans for review. The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually.

Upon review of the plans submitted, we have the following concerns:

- AED. Because of the occupancy of the building the owner shall install several public access Automatic External Defibrillator (AED) onsite for employee or customer use in the event of a sudden cardiac arrest. Two will be placed on each level. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire sprinkler riser/fire pump room. Remote annunciator panel location(s) will need to be determined during the pre-construction meeting as to the amount and the locations.
- Knox Boxes shall be recessed in the building. Knox boxes shall be provided at the main entrance, rear main entrance, south access door by the docks and at the sprinkler riser room.
- All outside doors shall have a lock and handle for access from the outside of the structure.



- Incoming combination water main must be sized by a Wisconsin Licensed Fire Sprinkler Designer.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments. Permits must also be obtained before construction of any systems.
- Fire hydrants: Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged. Hydrants must be placed no further than 350 feet apart as measured by normal access routes used by Fire and Rescue Department apparatus.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.
- Elevator alarm will need to contact the village of Pleasant Prairie Dispatch Center on the emergency telephone line.
- Monument signs must have street address on them.
- Additional fire department comments may be forthcoming.

We have performed a review of the set of drawings dated: 2/6/2015. The concerns of the Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire and Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. **Potential Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

4. **AED.** Because of the overall building size the owner shall install and maintain per manufacturer's instructions, public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED. Two shall be placed on each level.
5. **Place of Refuge:** The architect shall provide for both the Owner and the Fire and Rescue Department the area within the building that can be used as a "place of refuge" or "safe haven" during severe weather such as a tornado.
6. **The following Fees and Permits are generated directly from the Fire and Rescue Department Review and Comments:**
 - A. Site and Operational Permits
 1. Site accessibility **Shown on plans**
 2. Fire Pump Location **Shown on plans**
 3. Pumper Pad **Not Shown**
 4. Fire hydrant spacing **Not Shown**
 - B. **Conditional Use and Operational**
 1. Standpipe outlet locations **Currently it is not shown**
 2. Fire alarm pull stations **Currently it is not shown**
 3. Emergency and Exit Lighting **Currently it is not shown**
 4. Fire extinguishers **Currently it is not shown**
7. **Plan Review, Permits and Fees:** Five (5) sets of plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
8. **Insurance Carrier:** Uline shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire and Rescue Department shall receive a copy of the comments when plans are submitted for review.
9. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Number of stories/floors:
 - Mezzanines:
 - Clear space:
 - Elevators:
 - Hazard class:

Commodity:
Maximum storage height:
Square footage, office space:
Square footage, Manufacturing including maintenance and equipment:
Square footage, receiving space:
Square footage, shipping space:
Square footage, warehouse space:
Exterior storage:
Fire protection:

10. Fire and Rescue Department.

NOTE: Permits are required from the Fire and Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

- Bulk Water
- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans

Permit fees shall be paid prior to review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

11. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

12. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin DSPS..

13. **Site Access:** Access around the site must comply with the current building code for all Fire Department apparatus and NFPA 1 Chapter 18 2012 edition. A minimum wall-to-wall turning radius of 45'-0" is required for apparatus movement.

- a. All exterior exit pathways as well as access to any Fire Pump Room(s) shall have a hard surface, leading to a hard surface.
- b. A hard surface must be provided around the building to provide entrance access.
- c. All roadways around the proposed building must be a minimum of 30 feet.

- d. An exterior personnel door shall be located in close proximity to any fire sprinkler/standpipe riser controls.
- e. Fire hydrants: Shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
- f. Truck staging shall not decrease the width of the fire lanes.

14. **Sprinkler System:** The building shall be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.

NOTE: *Fire protection will be required for all garbage compactors that are fastened to the bulldog.*

15. **Water Service Mains and Laterals (Lead-Ins):** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building. Ultimately a Wisconsin licensed fire protection designer must assure this system will supply the required amount of water to the most demanding part of the fire sprinkler system. **All of which must be satisfied before Fire and Rescue will issue permits and before the installation of water mains can begin.**

16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire and Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.

17. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. The Fire and Rescue Department will work with the architect and Uline Corporation in the placement of the standpipes.

18. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access. Current Village of Pleasant Prairie fire hydrant specs must be used.

19. **Fire Hydrant Acceptance:** The Uline project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system

connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA –National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.

20. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is essential to assuring public safety.
21. The General Contractor shall coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire and Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
22. **Pumper Pad:** The Pumper Pad will need to have an area set aside off the main roadway to accommodate a Fire Department pumper/tanker. Current approved drawing must be used – drawing dated: 4/23/13
- There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department (sprinkler) Connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.
 - The Fire Department connections shall be no less than 23 inches in height so that typical snowfall or snow removal operations will not obstruct access. The Fire Department connection shall be constructed along with an underground drain with access for inspection.
 - Landscaping shall not obstruct the view or access to any portion of the fire protection system, such as hydrants, strobe lights, control valves etc.
23. **Bollards:** Shall be placed near any and all fire hydrants, remote post indicator valves (PIV) and Fire Department Connection(s) to prevent damage. The size shall be a minimum of six (6) inches in diameter, with proper bury depth. Bollards shall not obstruct charged fire hoses. It is recommended that the Department approve the location of the bollard(s) before final placement is made.
- Bollards are required per Village Ordinance 180-16.
24. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet

Village specifications as found in section 180-16 K of the Sprinkler Ordinance.

- 25. Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. We would like to discuss with the Owner our interest in having **Contact ID** installed within the fire alarm system where the exact address will be sent to a Central Station
- a. **Fire Alarm Control Panel:** The fire alarm control panel (FACP) will be placed in the main fire pump room.
 - b. **Transmission of Fire Alarms:** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. Phone line, RF Radio, VOIP, and /or Cellular technologies.
 - c. **Remote Fire Alarm Annunciators:** Any fire alarm remote annunciators shall be placed in locations suitable to the fire department.
 - d. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - e. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - f. **Smoke and Heat Detection:** Shall be installed as required.
 - g. **Kitchen Hood System:** All kitchen hood systems shall report to the FACP and provide an accurate location.
 - h. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - i. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - j. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The annunciator panel shall be placed at a location mutually agreeable to the Owner and the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - k. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire and Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire and Rescue Department prior to signing any contracts with the Central station.

- 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue

Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

Emergency: (262) 694-1402

Non-emergency: (262) 694-7105

Business: (262) 694-8027

26. **Knox Box:** Knox Boxes shall be provided for the building, a determination of the exact number required will need to be made, see reference at the beginning of this document. The Knox Boxes shall be Model 4400, *recessed mounted version*. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box.
27. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided to contain information on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with current printed edition of NFPA 10. Because of the kitchen area, Class K type fire extinguishers may be required.
29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room.
30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.

- c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
- d. Copies of the fire protection underground flushing documents.
- e. Copies of the underground and fire sprinkler hydrostatic test certificates.
- f. Copies of the fire sprinkler operational test certificates.
- g. Copies of the fire alarm test documents.
- h. Copies of other test documents such as, hood/duct, smoke, etc...
- i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
- j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition. The disks shall be in AutoCAD rev 14 format.
- k. Place of Refuge: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "place of refuge" or "safe haven" during severe weather such as a tornado.
- l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel, the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- m. AEDs, in place at occupancy.
- n. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.

31. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

32. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:

- a) **Minimum Signal Strength out of building:** A minimum signal strength of 20 db \pm 5 db above the noise floor shall be provided to and from the agency's radio system when transmitted or received from all areas of the building. For purposes of this section, 95% building coverage is considered to be all areas of the building.
- b) **Delivered Audio Quality:** (DAQ) level of three (3.4) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone
- c) The frequency range which must be supported shall be 151.0000 to 159.0000 MHz.

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

Buildings and structures which cannot support the required level of radio coverage shall be equipped with a radiating cable system and/or a distributed antenna system (DAS) with FCC certified Bi-Directional Amplifier (BDA)s (AKA: bi-directional amplifiers), or systems otherwise approved by the agency in order to achieve the required adequate radio coverage.

If any part of the installed system or systems contains electrically powered components, the system shall be capable of operating on an independent battery and/or generator system for a period of at least twelve (12) hours without external power input. Any battery system employed shall automatically recharge in the presence of an external power input.

The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio system.

Engineering and Design: The Bi-Directional Amplifier (BDA) system(s) shall be designed by a professionally licensed Engineering Firm with a currently certified electrical engineering professional in its employ.

Implementation: The Bi-Directional Amplifier (BDA) system(s) shall only be implemented by professional system integrator certified and trained by the manufacturer of the Bi-Directional Amplifier (BDA).

In the event that a signal booster is employed, it shall be fully encased within a dust and water resistant case.

Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

DRAFT

DEDICATION AND EASEMENT PROVISIONS

1. The Dedicated Wetland Preservation and Protection Areas as graphically shown on Sheet _ and _ of this Certified Survey Map were field delineated R.A. Smith National on May 21, 2013 and were field located by R.A. Smith National in June, 2013 and approved by _____ of the Wisconsin Department of Natural Resources on _____, 201_.
2. The fee interest in the areas shown as a “Dedicated Public Street” on this Certified Survey Map (CSM) for 120th Avenue - West Frontage Road is hereby dedicated, given, granted and conveyed by the Village of Pleasant Prairie Community Development Authority, (referred to as the “Village CDA”) to the Village of Pleasant Prairie, (the “Village”) its successors and assigns (the Wisconsin Department of Transportation - WI DOT) for the construction, installation, repair, alteration, replacement, planting and maintenance of public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, bike lanes, if required by the Village, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: (1) a nonexclusive easement hereby is reserved for the Owner of Lot 1 shown on this CSM which is adjacent to said Dedicated Public Street for the required planting, mowing, watering and maintenance of grass within the grassy terrace area, for the maintenance and replanting of street trees and the clearance, maintenance, repair and replacement of the bike lane, if required by the Village or the WI DOT in the area between the roadway and the Lot; and for the construction, installation, repair, replacement, maintenance and use of such private driveways in the area between the roadway and the Lot as are approved by the Village and the WI DOT as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions). In the event of any conflict between the rights of the Village or WI DOT under its fee interest in the Dedicated Public Street and the rights of the Owner of Lot 1, or of any Commercial Association pursuant to the easements retained herein, the rights of the Village or WI DOT shall be deemed to be superior.
3. Nonexclusive easements coextensive within each area shown on this CSM as a “Dedicated Wetland Preservation and Protection, Access and Maintenance Easement” area are hereby dedicated, given, granted and conveyed by the Village CDA to the Village for wetland conservancy preservation, protection, and maintenance purposes and uses and for related ingress and egress. Notwithstanding such easements, the Village shall have no obligation to exercise its rights under these easements.
4. Nonexclusive easements coextensive within each area shown on this CSM as a “Dedicated Floodplain Preservation and Protection, Access and Maintenance Easement” area are hereby dedicated, given, granted and conveyed by the Village CDA to the Village for floodplain conservancy preservation, protection and maintenance purposes and uses and for related ingress and egress. Notwithstanding such easements, the Village shall have no obligation to exercise its rights under these easements.

5. A perpetual nonexclusive easement coextensive with the area shown on this CSM as a "Dedicated 30' Public Sanitary Sewer, Access and Maintenance Easement" area is hereby dedicated, given, granted and conveyed by the Village CDA to the Village for public sanitary sewerage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. The Dedicated Public Sanitary Sewer, Access and Maintenance Easement area shall be exclusive, except for: (1) such other easements as may be dedicated on this CSM with respect to the same area or any portion thereof; (2) such use; planting; landscape island, curb and gutter, and parking lot repair/replacement; and care and maintenance of the surface easement area by the Owner of Lot 1 on which such easement is located as will not interfere with the improvements, uses and purposes of the Village; and (3) such driveway or other uses of the easement area that might interfere with the Village's rights, subject to approval and any conditions in writing that may be imposed by the Village. In the event of any conflicts between the rights of the Village pursuant to this Dedicated 30' Public Sanitary Sewer, Access and Maintenance Easement area and the rights of any other persons or entities with respect to this easement area, the Village's rights under this easement shall be deemed to be superior.

6. Perpetual nonexclusive easements coextensive with the areas shown on this CSM as either a "Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement area or as a Dedicated Storm Water Drainage, Access and Maintenance Easement area are hereby dedicated, given, granted and conveyed by the Village CDA to the Village for storm water drainage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. The Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement area and Dedicated Storm Water Drainage, Access and Maintenance Easement areas shall be exclusive, except for: (1) such other easements as may be dedicated on this CSM with respect to the same area or any portion thereof; (2) such use; drainage, fountains, and planting; and care and storm water maintenance of the areas by the Owner of Lot 1 on which such easements are located as will not interfere with the improvements, uses and purposes of the Village; and (3) such other uses of the easement area that might interfere with the Village's rights, subject to approval and any conditions in writing that may be imposed by the Village. In the event of any conflicts between the rights of the Village pursuant to the Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement area or the Dedicated Storm Water Drainage, Access and Maintenance Easement areas and the rights of any other persons or entities with respect to this easement areas, the Village's rights under these easements shall be deemed to be superior.

RESTRICTIVE COVENANTS

1. The Village of Pleasant Prairie Community Development Authority (referred to as the "Village CDA") hereby covenants that the Owner of Lot 1 shown on this CSM shall have the obligation of maintaining all of the Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement areas and the Dedicated Storm Water Drainage, Access and Maintenance Easement areas on the Lot 1 in a functional, neat and nuisance free condition to handle storm water and drainage in the Development. Such maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainage ways; ditching to reestablish design capacity; removing of trash, debris, leaves and brush; clearing, repairing and replacing inlets, installing, removing and replacing any retention basin fountains, outlets and catch basin structures; mowing; planting; and weeding to prevent nuisance conditions. No driveways, fences, or structures shall be erected within the

storm water drainage areas or retention basins which blocks, diverts or re-routes the drainage flow or that would likely interfere with the storm water function and flow, unless express written approval is granted by the Village and subject to any such conditions in writing as the Village may impose. This covenant shall run with the land, shall be binding upon the Owner of Lot 1, its successors, assigns and successors-in-title of Lot 1, in their capacity as Owner of Lot 1, and shall benefit and be enforceable by the Village.

2. The Village CDA hereby covenants that the 30' Dedicated Public Sanitary Sewer, Access and Maintenance Easements shown on the CSM hereby places restrictions on the referenced land on Lot 1 because of the location of this public sanitary sewer main easement which was given, granted and conveyed by the Village CDA to the Village for public sanitary sewer purposes and system improvements, uses and purposes, and for all related and incidental ingress and egress, construction, installation, repair, alteration, replacements, plantings and maintenance activities to serve the development as referenced in the Dedication and Easement Provisions on this CSM. The Village CDA further covenants that there shall be no buildings, fencing, parking lots, driveways, or landscaping or other improvements of any kind placed within the easement areas without prior written approval of the Village. Furthermore, if the Village allows for the placement of fencing, parking lots, driveways or landscaping within the public sanitary sewer easement areas granted to the Village as shown on the approved Site and Operational Plans for the development and in the event that the Village exercises its exclusive rights to maintain, repair or replace said sewer and related appurtenances, the Owner of Lot 1, not the Village, shall be responsible for any and all costs associated with the removal and or replacement of said fencing, parking lots, driveways or landscaping. This covenant shall run with the land, shall be binding upon the Owner of Lot 1, its successors, assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village.
3. The Village CDA hereby covenants that the Lot 1 Owner shall have the obligation of maintaining and replacing the street trees located within the 120th Avenue - West Frontage Road right-of-way after they are installed by the Village. Such maintenance shall include without limitation and as needed replanting, staking, mulching, weeding, pruning, watering, replanting, and removing of trash, debris, leaves and brush around the trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-ways that would likely damage the street trees or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the Owner of Lot 1, its successors, assigns and successors-in-title of the land, in their capacity as Owner of Lot 1, and shall benefit and be enforceable by the Village. The Owner of Lot 1 shall perform such maintenance and street trees and planting replacement as may be needed without compensation to the reasonable satisfaction of the Village.

To the extent that the Village performs any such street tree related maintenance activities, following notice to the Owner of Lot 1 and reasonable opportunity to perform said maintenance activities, the Owner of Lot 1 shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these provisions.

4. The Village CDA hereby covenants that the Owner of Lot 1 shall have the obligation of protecting and preserving the Wetland Preservation and Protection areas shown on this CSM. Such maintenance may include without limitation and as needed removing of dead, dying or decayed

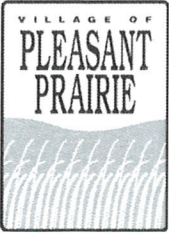
trees, plant material or invasive species, planting wetland plant life as approved by the Village and the Wisconsin Department of Natural Resources, and removing of trash or debris in order to prevent a nuisance condition. No mowing or cutting of the wetlands shall be allowed. No signage or fences shall be erected within the wetlands that would likely damage the wetland areas. This covenant shall run with the land, shall be binding upon the Owner, its successors, assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. The Owner of Lot 1 shall perform such maintenance as may be needed, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such wetland related maintenance activities, following notice to the Owner of Lot 1 and reasonable opportunity to perform said maintenance activities the Owner of Lot 1 shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner of Lot 1 as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedications and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these dedications.

5. The Village CDA hereby covenants that the Owner of Lot 1 shall have the obligation of protecting and preserving the Floodplain Preservation and Protection areas shown on this CSM. Such maintenance may include without limitation and as needed removing of dead, dying or decayed trees, plant material or invasive species, planting wetland plant life as approved by the Village and the Wisconsin Department of Natural Resources, and removing of trash or debris in order to prevent a nuisance condition. No signage or fences shall be erected within the floodplain that would likely divert or block the drainage of the floodplain areas. This covenant shall run with the land, shall be binding upon the Owner, its successors, assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. The Owner of Lot 1 shall perform such maintenance as may be needed, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such floodplain related maintenance activities, following notice to Owner of Lot 1 and reasonable opportunity to perform said maintenance activities the Owner of Lot 1 shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner of Lot 1 as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedications and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these dedications.

6. The Village CDA hereby covenants that the Owner of Lot 1 shall have the obligation of paying the ongoing electrical utility and facility maintenance costs and related administrative charges for the public street lighting serving and benefitting their Development. The Village intends to establish a Street Lighting Utility District for the collection of such charges. Such costs will be billed directly to the Owner unless and until a separate Commercial Owners Association is formally established for the development, at which time the Association will be invoiced by the Village on a regular basis.



RECEIVED
FEB - 6 2015

VILLAGE OF PLEASANT PRAIRIE
Village of Pleasant Prairie
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:

Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	2/6 2015
Preliminary Determination of Completeness on:	2/6 2015
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	20
Published on:	and , 20 Notices sent on: , 20
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: ULINE H2-HEADQUARTERS OFFICE BUILDING
 SITE ADDRESS: 120TH AVE BETWEEN 104th & 116th ST. (WEST SIDE)
 BRIEF PROJECT DESCRIPTION: MASS GRADING FOR SITE AND PRELIMINARY APPROVAL FOR OFFICE BUILDING AND SITE IMPROVEMENTS

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 500 (800 FUTURE)

PROPOSED NUMBER OF PART-TIME EMPLOYEES: _____

SITE SIZE: 1,611,720 sq. ft. 37 acres

PROPOSED BUILDING SIZE: 298,000 sq.ft. HEIGHT: 61 ft. 82 FEET

PROPOSED ADDITION SIZE: — sq.ft. HEIGHT: — ft. LOADING DOCKS

LEGAL DESCRIPTION: REFER TO CIVIL SUBMITTAL ALTA/CSM SURVEY

TAX PARCEL NUMBER(S): 91-4-121-254-0122, 91-4-121-254-0401, 91-4-121-254-

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M-5 0406

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B 298,000 sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: _____

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? AGRICULTURAL

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.

2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.

3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.

2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: Village CDA
Michael R. Pollocoff
(Please Print)
Signature: *Michael R. Pollocoff*
Address: 9915 39th Ave
Pleasant Plains WI 53158
(City) (State) (Zip)
Phone: 262-694-1400
Fax: _____
E-mail: _____
Date 2/8/15

APPLICANT:

Name: PETER KVOITA
(Please Print)
Signature: *Peter Kvoita*
Address: 333 E. Chicago St
Milw. WI 53202
(City) (State) (Zip)
Phone: 414.291.8195
Fax: _____
E-mail: peterk@eva.com
Date: 2/6/15

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
Signature: *Michael R. Pollocoff*
(Please Print)
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date _____

USER OR OCCUPANT OF SITE:

Name: BRAO FOLKERT
(Please Print)
Signature: *Bravo Folkert*
Address: 12575 WLINE DRIVE
PLEASANT PRAIRIE, WI 53158
(City) (State) (Zip)
Phone: 262 612 4200
Fax: 262 612 4270
E-mail: B.FOLKERT@WLINE.COM
Date: FEBRUARY 6, 2015

THIS DOCUMENT HAS BEEN PREPARED TO SATISFY PROCEDURAL REQUIREMENTS OF THE VILLAGE OF PLEASANT PRAIRIE FOR PRELIMINARY SITE & OPERATIONAL PLAN APPROVAL TO ALLOW FOR THE CONSTRUCTION OF A NEW OFFICE BUILDING (H2) FOR ULINE ON THE WEST SIDE OF 120TH AVENUE BETWEEN 104TH St AND 116TH St. IN PLEASANT PRAIRIE WISCONSIN.

1. Operational plan requirements.

- a. A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Due to Uline’s continued growth the company needs additional office space to support its operations. Uline sees tremendous operational benefits in locating the new facility on the 37 acre parcel located on 120th Avenue between 104th St and 116th St. which is close to its current Corporate Headquarters facility, in Pleasant Prairie, for the following reasons-

- **Maintain the Company Culture-** Uline is still a family owned and operated company. By keeping employees close to the family and other employees the company culture is maintained.
- **Corporate Managers will continue to be located in close proximity to one another at various facilities in Pleasant Prairie. This helps to facilitate impromptu and frequent face to face meetings between managers. This allows for efficient communication and quick decision making which is a cornerstone of Uline’s success.**
- **Department Managers, that will be located in the new facility, are required to meet frequently and on short notice at the company president’s offices at 12575 Uline Drive.**
- **Many of the staff, that will be located in the facility, need to visit the various Uline distribution centers and warehouses, in Pleasant Prairie, to inspect product for quality, review and test new products and meet with vendors.**

The Preliminary Project Schedule is as follows:

- **3/09/15- Plan Commission Meeting for Preliminary Site and Operational Approval**
- **3/16/15- Village Board Meeting for Mass Grading Approval.**
- **5/05/15- Submit Permit Drawings for Footing and Foundations**
- **5/15/15- Uline and CDA to Close on Purchase of Property**
- **6/01/15- Commence Mass Grading and Footing Foundations**
- **7/10/15- Submit Final Site and Operational Plans**
- **8/10/15- Plan Commission Meeting for Final Site and Operational Approval**
- **8/18/15- Commence Construction of Superstructure and Interiors**
- **01/17- Substantial Completion**

- b. A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

ULINE's Proposed (H2) Corporate Office Building Project to be located on this site will consist of the following: The building and associated parking will be located on 37.3 acres of land. A 298,000 square foot office building including a 78,000 square foot basement. The building will be three (3) stories with a full basement. The building design will be very similar to that of Uline's existing H1 headquarters office building. The basement will contain main electrical and mechanical rooms and storage space. A shipping/ receiving area with two (2) loading docks and a compactor bay will located on the southwest end of the building. The first floor will include a main lobby, training rooms and an associated breakout area, office space and a fitness center. The second floor will include kitchen/servery and dining space, conference rooms and office space. The third floor will contain office space and some conference rooms. The primary use of the facility is business office use. The building will be provided with four (4) elevators that serve each floor level. Two (2) of the elevators are sized to accommodate ambulance stretchers.

Along the east, north and south elevations the building height will be 61 feet. Along the west elevation, where the basement will be partially exposed, the overall building height will be up to 80 feet. The building exterior will consist of precast concrete panels, cedar paneling and ashlar stone veneer with a standing seam metal roof on the pitched roof portions of the building.

A utility building with pumphouse, cooling tower and back-up generator will be located south of the office building.

When the building is complete in January 2017, the new corporate office is projected to have 500 initial employees with capacity of 800 employees at full build out. As part of the development, 877 parking spaces will be provided adjacent to the office building.

Mass grading for the site is anticipated to begin in June, 2015 with substantial completion anticipated for early 2017.

- c. Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.
Hours of operation will be from 7am- 6pm five days a week.
- d. Anticipated startup and total number of full- and part-time employees.
The H2 Office Building will have 500. Future employee staff growth is anticipated at this facility.
- e. Anticipated number of shifts and the anticipated number of employees per shift.
There will be 1 shift
- f. Anticipated maximum number of employees on site at any time of the day.
500 day one. 800 future
- g. Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.
N/A
- h. Number of parking spaces required per this chapter and the method used to calculate such number.

Required Parking spaces based on Village of Pleasant Prairie Zoning Ordinance 420-50

Headquarters, corporate: 2.5 space per 1000 square feet: 212,000 sf of Office = 530 parking spaces

- i. Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).

Total Proposed Parking Spaces= 856 (838 conventional and 18 accessible spaces).

- j. Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

Forecast Maximum: 1700 Forecast Average: 1100

- k. Anticipated daily average and maximum potential number of truck trips to and from the site.

Forecast: Inbound: 5/day Outbound: 5/day

- l. Types of good and materials to be made, used or stored on site.

N/A

- m. Types of equipment or machinery to be used on site.

N/A

- n. Types of solid or liquid waste materials which will require disposal.

N/A

- o. Method of handling, storing and disposing of solid or liquid waste materials.

N/A

- p. Methods of providing site and building security other than the Village Police Department.

The existing site is primarily monitored by its employees with supplemental monitoring by security personnel. Access control technology will be provided at entrance doors and security cameras will be provided on the premises.

- q. Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

ULINE has an extensive maintenance and beautification program at all of its facilities. The same care and effort will be provided to the mass graded site and future facilities.

- r. Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

No adverse impacts are anticipated.

- s. A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.

- **Notice of Intent (NOI): documents to be submitted to the WDNR.**
- **Erosion Control Permit: documents to be submitted to the WDNR/ Village of Pleasant Prairie.**

- **State Plan Approval for Building and HVAC - documents to be submitted to Wisconsin DSPS**
- **State Exterior Plumbing Permit- documents to be submitted to Wisconsin DSPS**
- **Building Permit – documents to be submitted to Village of Pleasant Prairie.**
- **County Access Permit- documents to be submitted to County**
- **ROW Permit- documents to be submitted to WisDOT**
- **Chapter 30 Grading Permit- documents to be submitted to WDNR.**
- **Individual Wetland Permit- documents to be submitted to WDNR and USACE.**

RECEIVED

FEB 18 2015

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

PLEASANT PRAIRIE

Date Sent: 3/2/15 PH
Date Due: _____

VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY

To be submitted to the
Kenosha Water Utility

General Information

1. Facility Name: ULINE H2-OFFICE BUILDING
2. Mailing Address: 12575 ULINE DRIVE
3. City, State, Zip Code: PLEASANT PRAIRIE WI 53158
4. Site Address: 120TH AVE (WEST SIDE) BETWEEN 104TH ST & 116TH ST
5. Standard Industrial Classification Code (SIC): _____
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: PHIL HUNT
Title: VP. MAT'L'S MGMT
Phone #: 262.612.4200

Company Contact

Name: BRAD FOLKERT
Title: DIRECTOR OF CONST.
Phone #: 262.612.4200

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

Operational Characteristics

- 1. Existing Number of Employees: Full Time 500-800 Part Time _____
- 2. Operational Schedule: Days/Wk 5 Hours/Day 10 # Shifts 1
- 3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities):
BUSINESS (OFFICE)
- 4. List principal raw materials used: N/A
- 5. List products produced and the average rate of production: N/A
- 6. List types of wastes created during production and any by-products produced: N/A
- 7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 6,000,000 gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s).
NEW CONSTRUCTION - METER NOT INSTALLED
- 8. Type of discharges: Continuous X Batch _____
If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____
- 9. Describe the uses of water at this facility: DOMESTIC, CHILLER COOLING WATER, IRRIGATION

Wastewater Information

- 1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
_____	_____
_____	_____
_____	_____
_____	_____

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

NA

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? NON CONTACT COOLING WATER FOR CHILLER COOLING TOWERS

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day for each employee (i.e. water balance).

	AVERAGE ANNUAL Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	9,100	9,100	CONTINUOUS
Process Wastewater Usage	NA	NA	
Cooling Water Usage	15,300	0	COOLING TOWER
Other Usage	8,400	0	IRRIGATION
Total Volume	32,800	9,100	

5. Describe all locations where wastewaters enter the collection system SANITARY SEWER LATERAL CONNECTION TO SEWER MAIN IN EASEMENT NORTH OF THE BUILDING

6. Is there a sampling manhole on site? No Yes

If yes, describe the locations: SANITARY SEWER LATERAL NORTH OF THE BUILDING

7. Are sanitary and process wastewaters separated? No Yes

8. Is boiler blowdown water discharged to the sanitary sewer? No Yes

9. Does your facility haul any process wastewater? No Yes

Compliance Information

1. Is there any usage of toxic compounds at the facility? No Yes

If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No Yes

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
No Yes If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No _____ Yes X

If yes, describe: GREASE INTERCEPTOR FOR KITCHEN WASTEWATER

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.

N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

BRAD FOLKERT

Print Name: Authorized Representative

Brad Folkert

Signature: Authorized Representative

DIRECTOR OF CONSTRUCTION

Title

FEBRUARY 16, 2015

Date

Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chlorofoffil
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

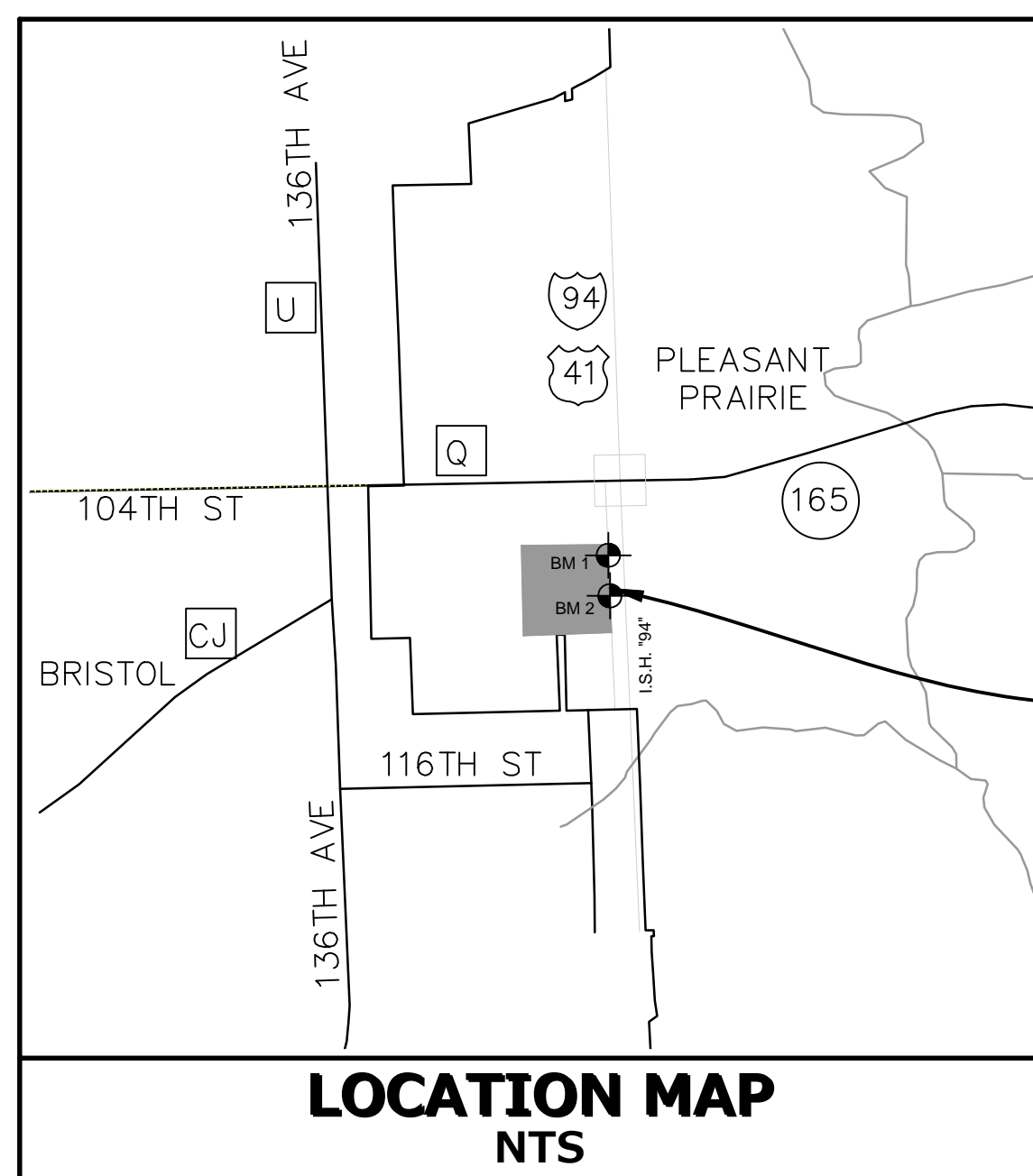
ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

H2 FACILITY AT ULINE CORPORATE CAMPUS

PLEASANT PRAIRIE, WISCONSIN

PLANS PREPARED FOR
ROUTE 165, LLC
 12575 ULINE DRIVE
 PLEASANT PRAIRIE, WI 53158



PROJECT LOCATION

LOCATION MAP
NTS

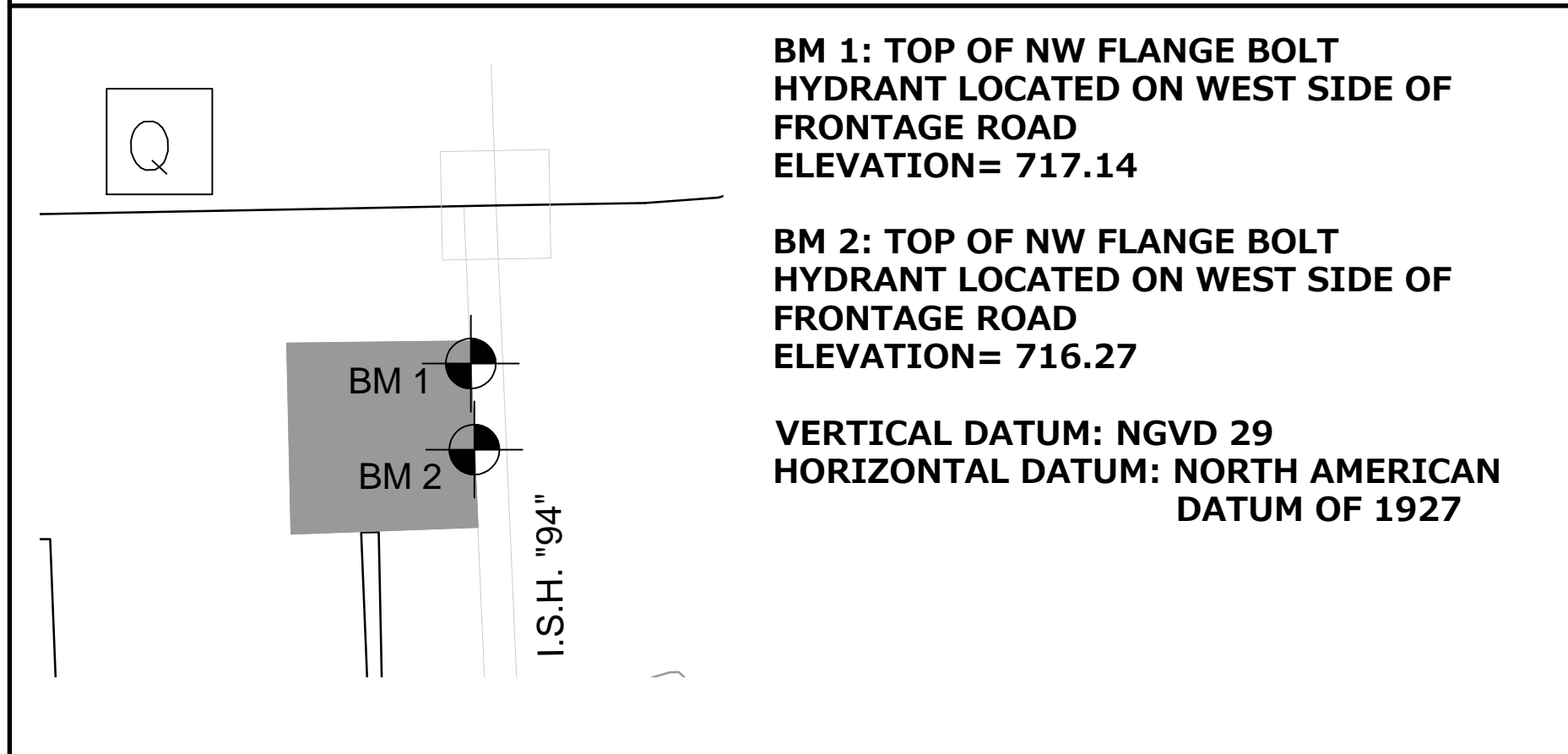
LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	□	■
INLET	○	●
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	⌒	⌒
VALVE VAULT	⊗	⊗
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
BUFFALO BOX	⊗	⊗
CLEANOUT	⊗	⊗
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
GUY WIRE	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	—	—
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

PROJECT TEAM CONTACTS

CIVIL ENGINEER: ADAM ARTZ, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888 MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888 APPLICANT: BRAD FOLKERT/PHIL HUNT ROUTE 165, LLC 12575 ULINE DRIVE PLEASANT PRAIRIE, WI 53158 (262) 612-4200 ARCHITECT: PETER KUCHA, A.I.A. EPSTEIN UHEN ARCHITECTS 333 EAST CHICAGO STREET MILWAUKEE, WI 53202 (262) 271-5350	SURVEYOR: DON CHAPUT, R.L.S. CHAPUT LAND SURVEYS 234 W. FLORIDA STREET MILWAUKEE, WI 53204 (414) 224-8068 SITE LIGHTING: GORDY PIERRET, P.E. RING & DUCHATEAU, LLP 101001 INNOVATION DRIVE, SUITE 200 MILWAUKEE, WI 53226 (262) 778-1700 STRUCTURAL: JIM HAYES, P.E. GRAEF 125 SOUTH 84TH ST. STE 401 MILWAUKEE, WI 53214 (414) 226-9031
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BENCHMARKS



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL, OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- MULTIPLE GEOTECHNICAL EXPLORATION REPORTS HAVE BEEN PREPARED FOR THIS PROJECT. MOST RECENTLY BY PROFESSIONAL SERVICE INDUSTRIES (DATED JULY 10, 2013 AND JULY 28, 2014) COMPLETED REPORTS FOR THIS PROJECT SITE. THE DATE ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATE IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORSEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- PRIOR TO CONSTRUCTION A PRE-CONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3 - C-4	SITE DIMENSIONAL AND PAVING PLAN
C-5 - C-6	GRADING PLAN
C-7 - C-8	UTILITY PLAN
C-9 - C-10	SITE STABILIZATION PLAN
C-11 - C-14	CONSTRUCTION DETAILS

H2 DEVELOPMENT DATA

SITE AREA:	37.3 AC
DISTURBED AREA:	28.1 AC
BUILDING FOOTPRINT AREA:	1.8 AC (79,838 S.F.)
ADDED CAR PARKING SPACES:	856 SPACES (18 A.D.A.)
PAVEMENT AREA:	9.6 AC
IMPERVIOUS AREA:	11.4 AC
GREEN SPACE:	25.9 AC (69%)
ZONING DISTRICT:	M-5, PRODUCTION
(PLEASANT PRAIRIE)	MANUFACTURING DISTRICT

REQUIRED SUBMITTALS FOR APPROVAL

- HOT MIX ASPHALT - MIX DESIGN
- CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN
- PAVEMENT STONE BASE COURSE - GRADATION
- PIPE BEDDING & TRENCH BACKFILL - GRADATION
- MANHOLE BACKFILL - GRADATION
- PAVEMENT MARKING PLAN
- CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
- SANITARY SEWER PIPE & FITTINGS
- STORM SEWER PIPE, STRUCTURES, & FITTINGS
- TRACER WIRE
- UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
- ADA SIGN & TRUNCATED DOMES, PAINT & STENCILS

FOR REVIEW
NOT FOR CONSTRUCTION



Toll Free (800) 242-8511
 Milwaukee Area (414) 239-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2016

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

REVISIONS

NO.	DATE	DESCRIPTION

REC. NO. 119.00A
 ABA
 START DATE 12/20/14
 SCALE

SHEET
C-1
 of
C-14

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PINNACLE ENGINEERING GROUP
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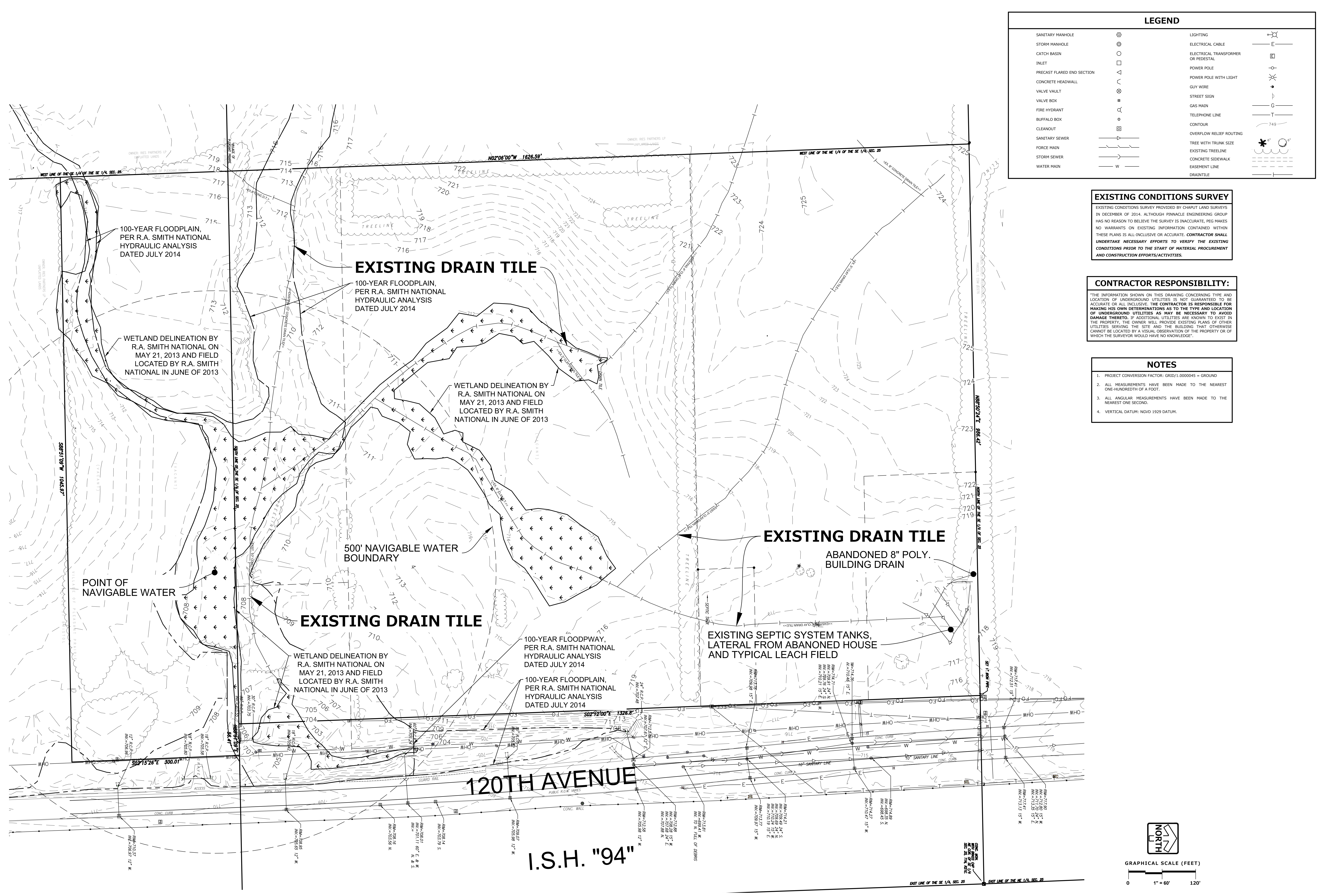
WISCONSIN OFFICE:
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 BROOKFIELD, WI 53005
 (262) 754-8888
 CHICAGO | MILWAUKEE | NATIONWIDE

ULINE CORPORATE CAMPUS
 PLEASANT PRAIRIE, WI

COVER SHEET

DESIGNED: MGS
DRAWN: BRP
REVIEWED: ARA
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FOR REVIEW
EXISTING CONDITIONS

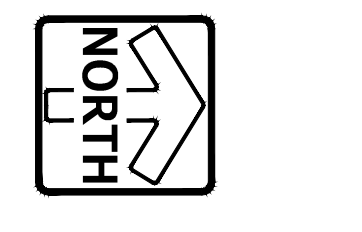


SANITARY MANHOLE	⊙	LIGHTING	⊠
STORM MANHOLE	⊙	ELECTRICAL CABLE	—E—
CATCH BASIN	○	ELECTRICAL TRANSFORMER OR PEDESTAL	⊠
INLET	□	POWER POLE	⊙
PRECAST FLARED END SECTION	▭	POWER POLE WITH LIGHT	⊙
CONCRETE HEADWALL	∩	GUY WIRE	—X—
VALVE VAULT	⊙	STREET SIGN	⊠
VALVE BOX	⊙	GAS MAIN	—G—
FIRE HYDRANT	⊙	TELEPHONE LINE	—T—
BUFFALO BOX	⊙	CONTOUR	745
CLEANOUT	⊙	OVERFLOW RELIEF ROUTING	—O—
SANITARY SEWER	—MHO—	TREE WITH TRUNK SIZE	⊙
FORCE MAIN	—F—	EXISTING TREELINE	—T—
STORM SEWER	—W—	CONCRETE SIDEWALK	—S—
WATER MAIN	—W—	EASEMENT LINE	—E—
		DRAIN TILE	—D—

EXISTING CONDITIONS SURVEY
EXISTING CONDITIONS SURVEY PROVIDED BY CHAPUT LAND SURVEYS IN DECEMBER OF 2014. ALTHOUGH PINNACLE ENGINEERING GROUP HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES ON EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

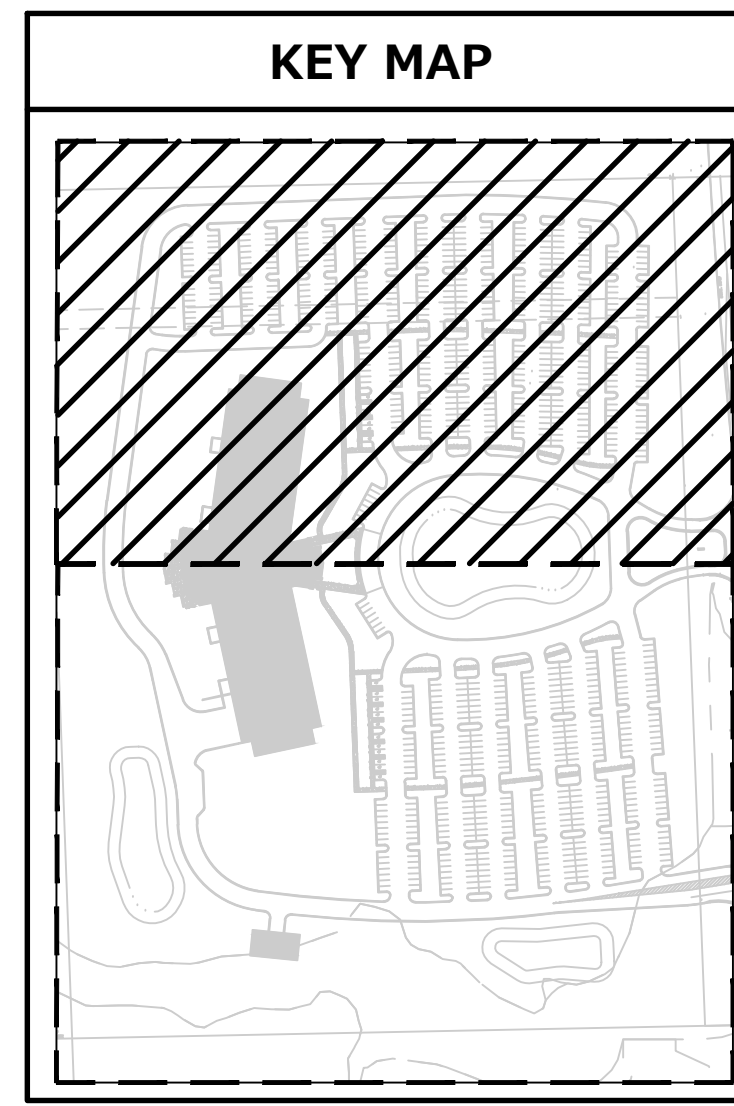
NOTES
1. PROJECT CONVERSION FACTOR: GRID/1.0000045 = GROUND
2. ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDRETH OF A FOOT.
3. ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.
4. VERTICAL DATUM: NGVD 1929 DATUM.



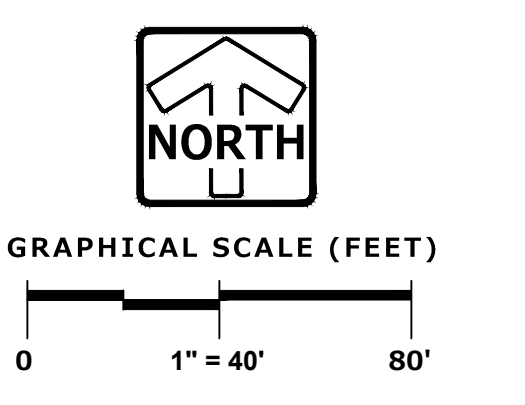
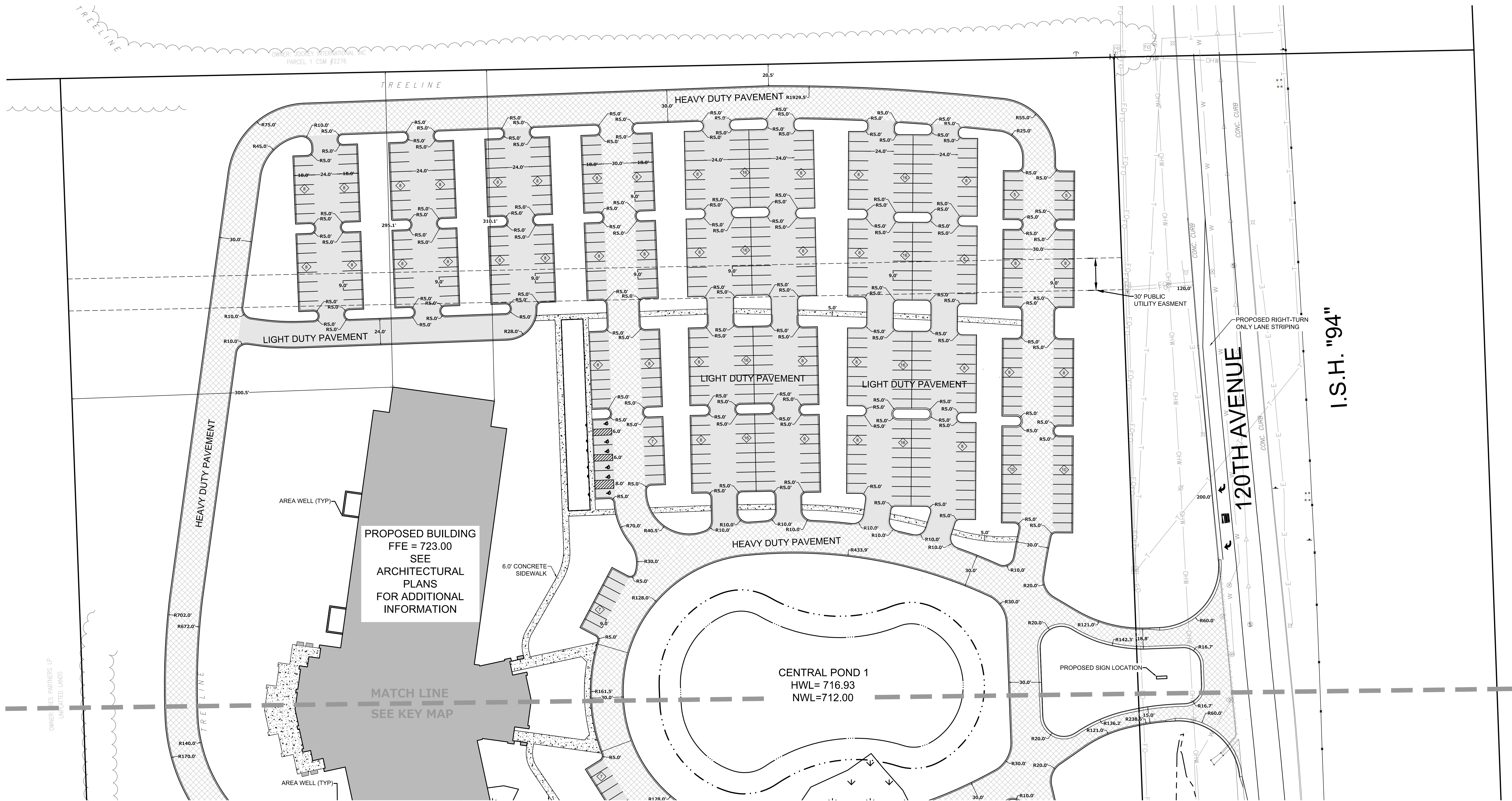
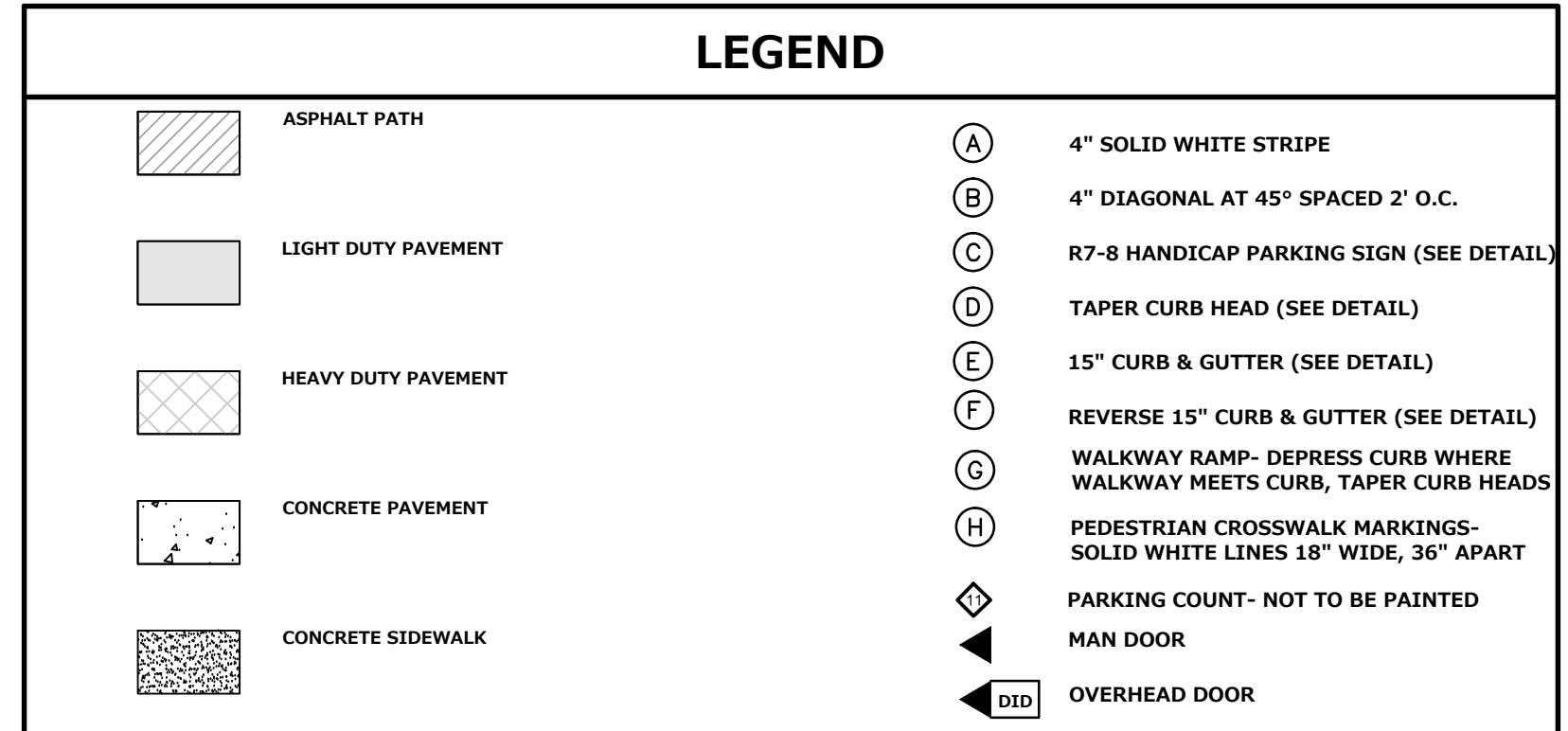
GRAPHICAL SCALE (FEET)
0 1" = 60' 120'

NO.	DATE	DESCRIPTION

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE."



- ### NOTES
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 15" STANDARD CURB AND GUTTER (SEE DETAILS) UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBS, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
 - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
 - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
 - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
 - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
 - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
 - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
 - BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
 - ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (3° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.



DESIGNED: MAC
 DRAWN: BRP
 CHECKED: BRP
 REVIEWED: ABA
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WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
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PINNACLE ENGINEERING GROUP
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ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI

SITE DIMENSIONAL & PAVING PLAN

NO.	DATE	DESCRIPTION

REG. JOB NO.: 119.00A
REG. PM: ABA
START DATE: 12/20/24
SCALE:

SHEET
C-3
C-14

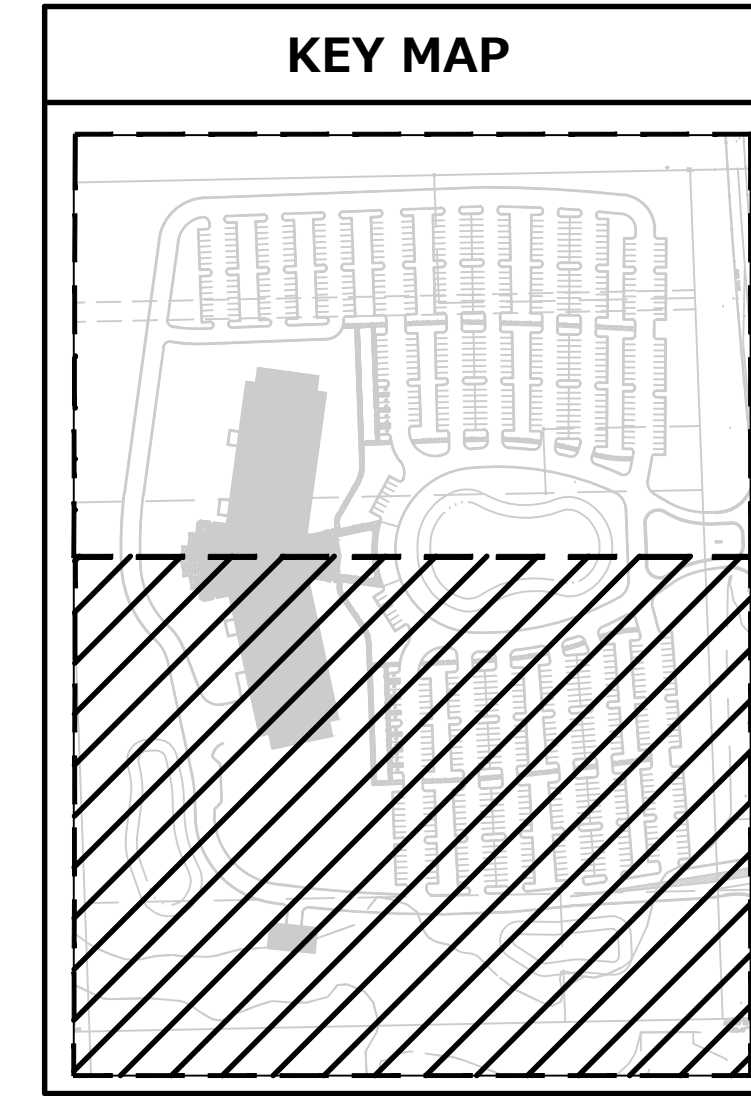
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 FOR REVIEW
 SITE DIMENSIONAL & PAVING PLAN

DESIGNED: ABA REVISED: MAC DRAWN: BRP THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

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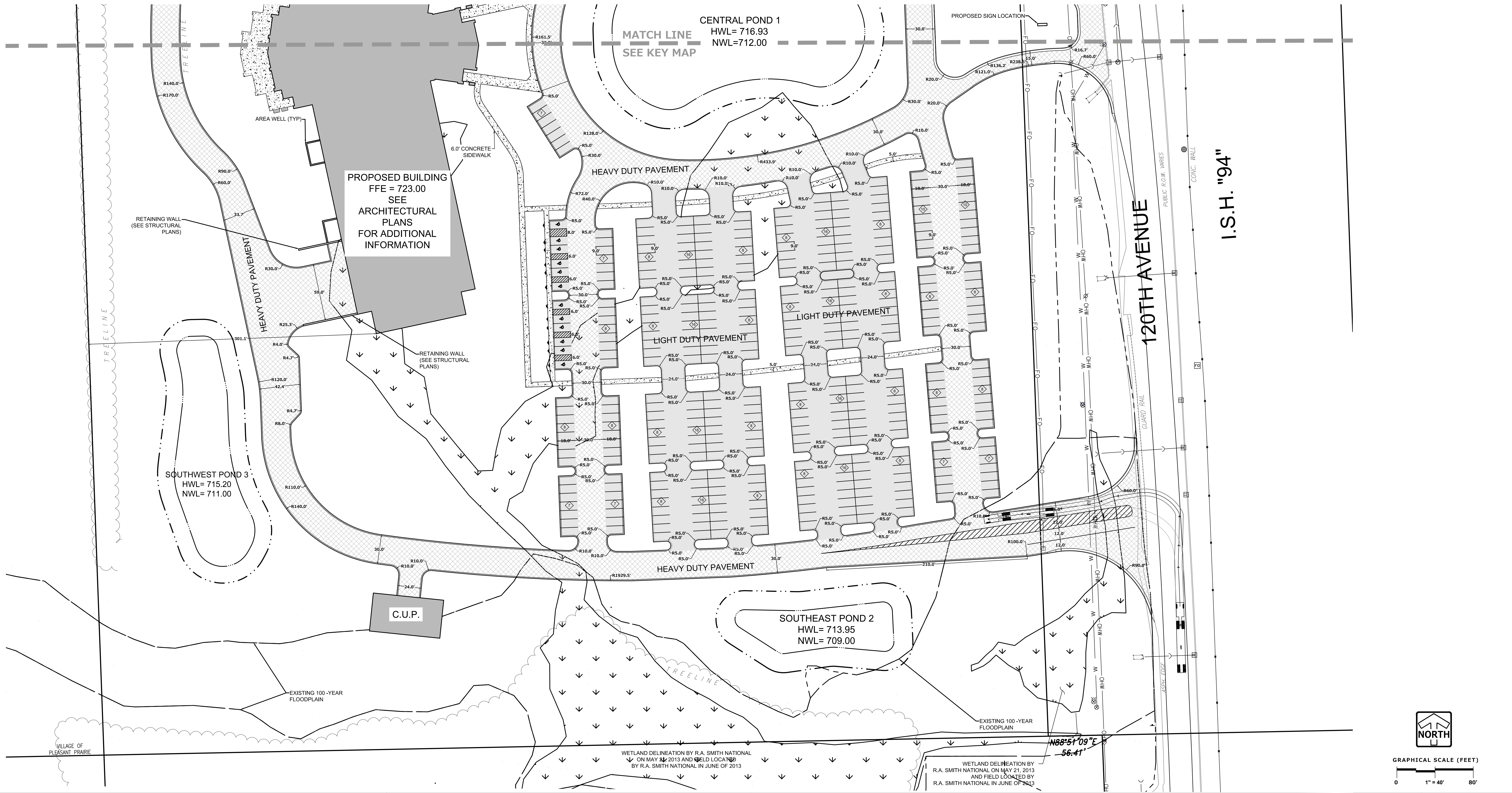
NOTES

- SEE FIRST SITE DIMENSIONAL & PAVING PLAN SHEET FOR PAVING NOTES.
- SEE CONSTRUCTION DETAILS SECTION FOR ADDITIONAL INFORMATION PERTAINING TO THE SITE DIMENSIONAL & PAVING PLAN.



LEGEND

	ASPHALT PATH		4" SOLID WHITE STRIPE
	LIGHT DUTY PAVEMENT		4" DIAGONAL AT 45° SPACED 2" O.C.
	HEAVY DUTY PAVEMENT		R7-8 HANDICAP PARKING SIGN (SEE DETAIL)
	CONCRETE PAVEMENT		TAPER CURB HEAD (SEE DETAIL)
	CONCRETE SIDEWALK		15" CURB & GUTTER (SEE DETAIL)
			REVERSE 15" CURB & GUTTER (SEE DETAIL)
			WALKWAY RAMP- DEPRESS CURB WHERE WALKWAY MEETS CURB, TAPER CURB HEADS
			PEDESTRIAN CROSSWALK MARKINGS- SOLID WHITE LINES 18" WIDE, 30" APART
			PARKING COUNT- NOT TO BE PAINTED
			MAN DOOR
			OVERHEAD DOOR



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**ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI**

SITE DIMENSIONAL & PAVING PLAN

REVISIONS

NO.	DATE	DESCRIPTION

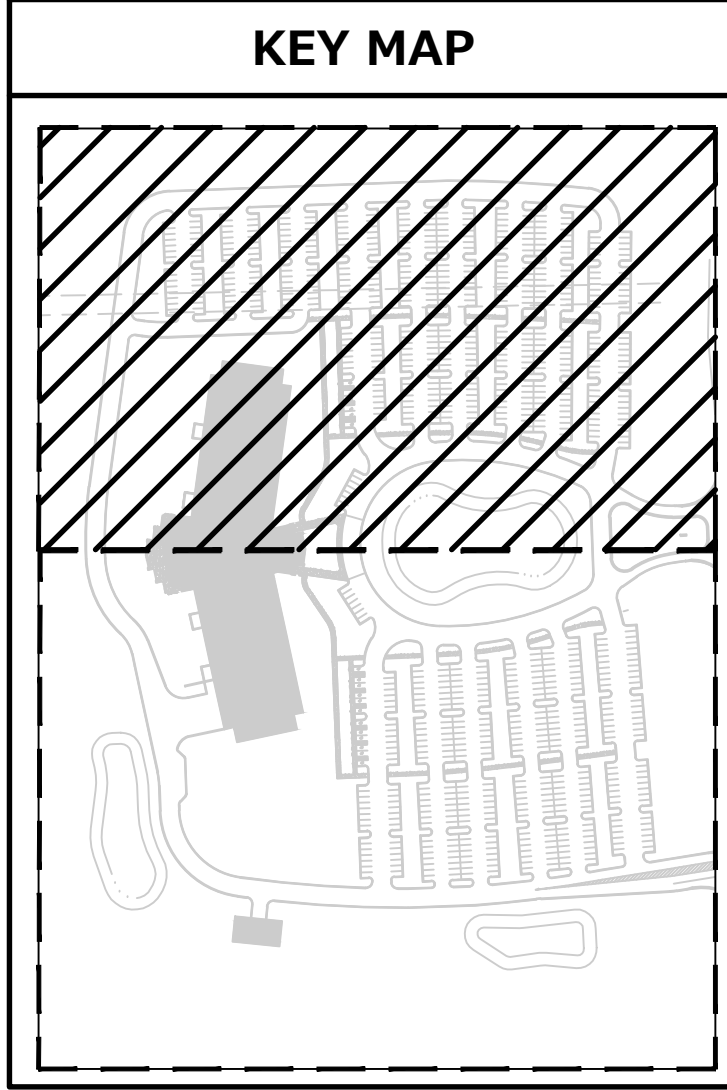
REG. JOB NO.: 119.00A
REG. NO.: ABA
START DATE: 12/20/14
SCALE: AS SHOWN

SHEET C-4 of C-14

SITE DIMENSIONAL & PAVING PLAN

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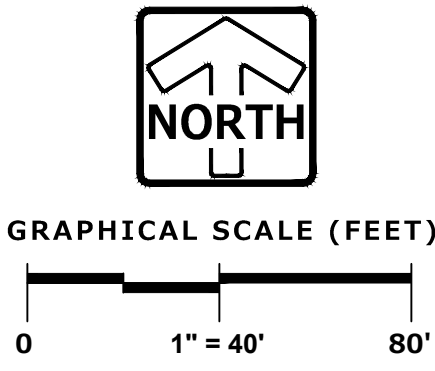
"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE."



- ### NOTES
- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
 - SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DESCRIBED IN THE PLANS.
 CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
 - GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
 - THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE. SOILS, THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
 - IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
 - WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
 - THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
 - CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES.
 - PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
 - WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY INCLUDING LANDSCAPING.
 - CONTRACTOR SHALL COMPLY WITH ALL KENOSHA COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
 - LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
 - TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
 - SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY CHAPUT LAND SURVEY, INC. IN NO WAY DOES REG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

LEGEND

	SANITARY SEWER MANHOLE		OVERFLOW RELIEF ROUTING
	STORM SEWER MANHOLE		CONCRETE SIDEWALK
	CATCH BASIN- ROUND CASTING		CURB AND GUTTER
	CATCH BASIN- RECTANGULAR CASTING		DEPRESSED CURB
	CLEANOUT		REVERSE PITCH CURB & GUTTER
	CONTOUR		EDGE OF PAVEMENT
	SPOT ELEVATION		FINISHED FLOOR
	DIRECTION OF SURFACE FLOW		SIDEWALK
	DITCH OR SWALE		YARD GRADE
	FLOODPLAIN		



DESIGNED: MAC
CHECKED: BIP
DRAWN: BIP
REVIEWED: BIP
DATE: 02/20/24
PROJECT: ULINE CORPORATE CAMPUS
SHEET: C-5 OF C-14

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GRADING PLAN

REVISIONS	
NO.	DESCRIPTION

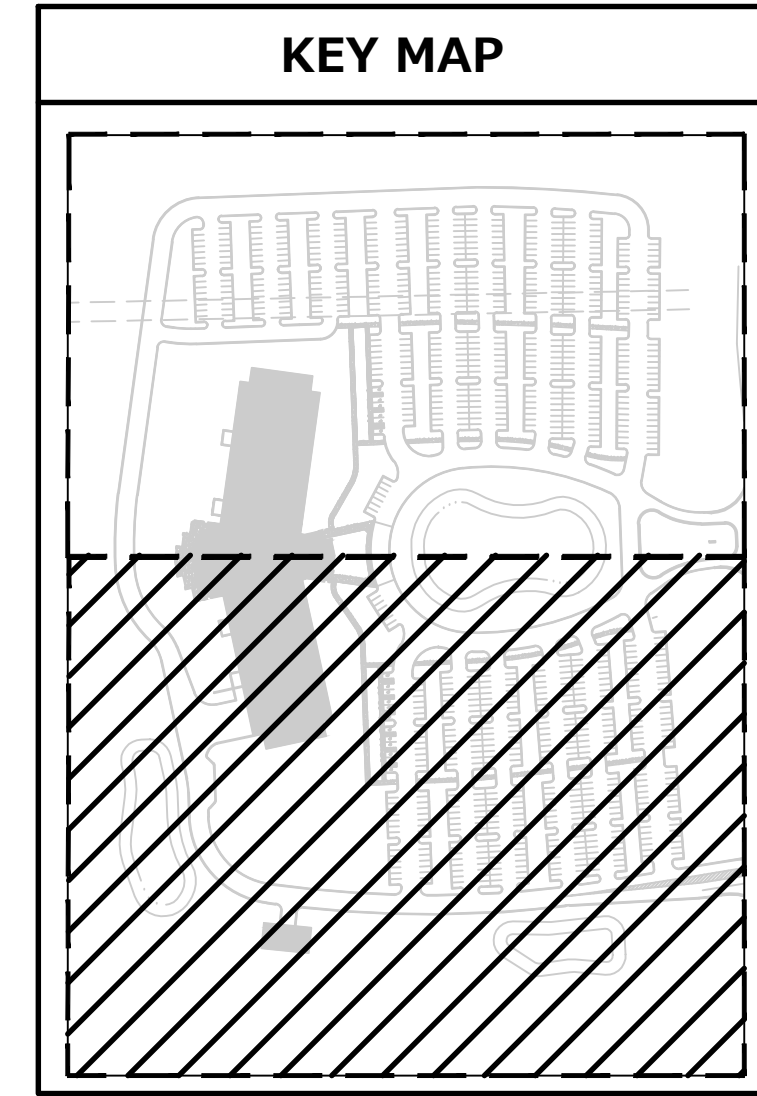
REG. JOB NO.: 119.00A
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SHEET
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OF
C-14

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DESIGNED: ABA
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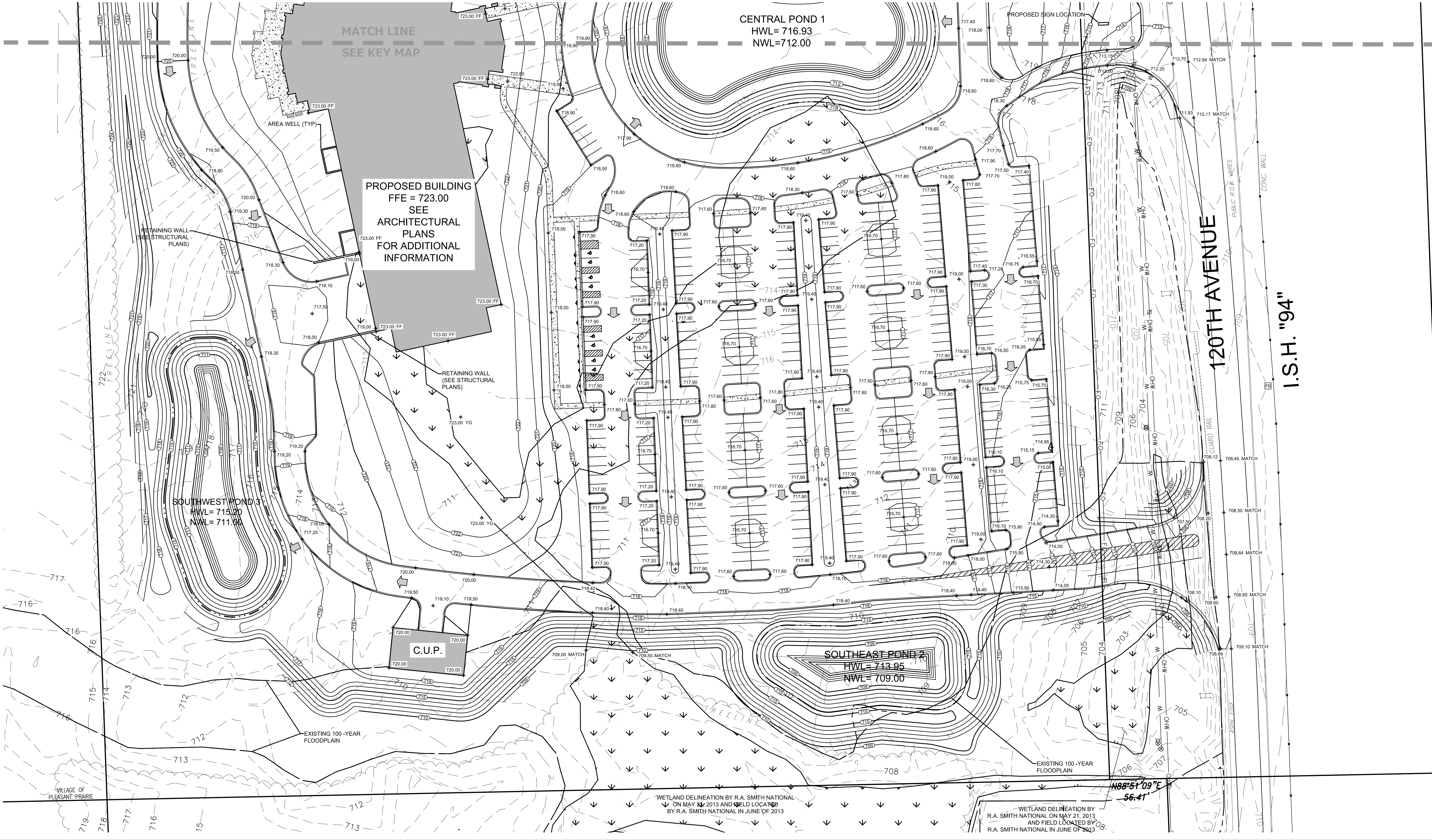
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- NOTES**
- SEE FIRST GRADING PLAN SHEET FOR GRADING NOTES.
 - SEE CONSTRUCTION DETAILS SECTION FOR ADDITIONAL INFORMATION PERTAINING TO THE GRADING PLAN.

LEGEND

	SANITARY SEWER MANHOLE		OVERFLOW RELIEF ROUTING
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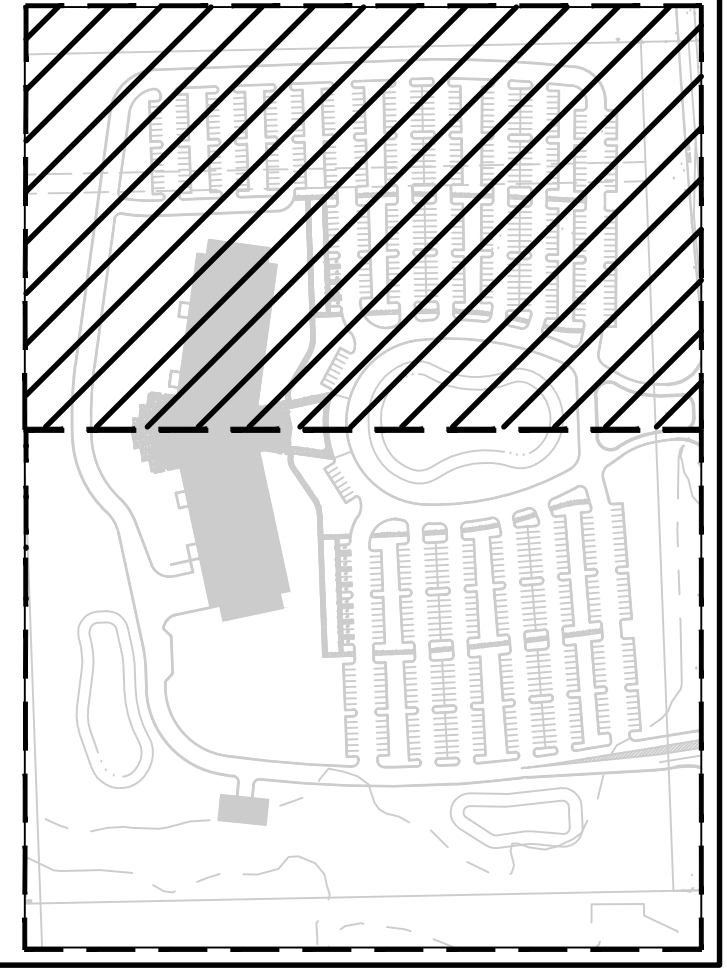


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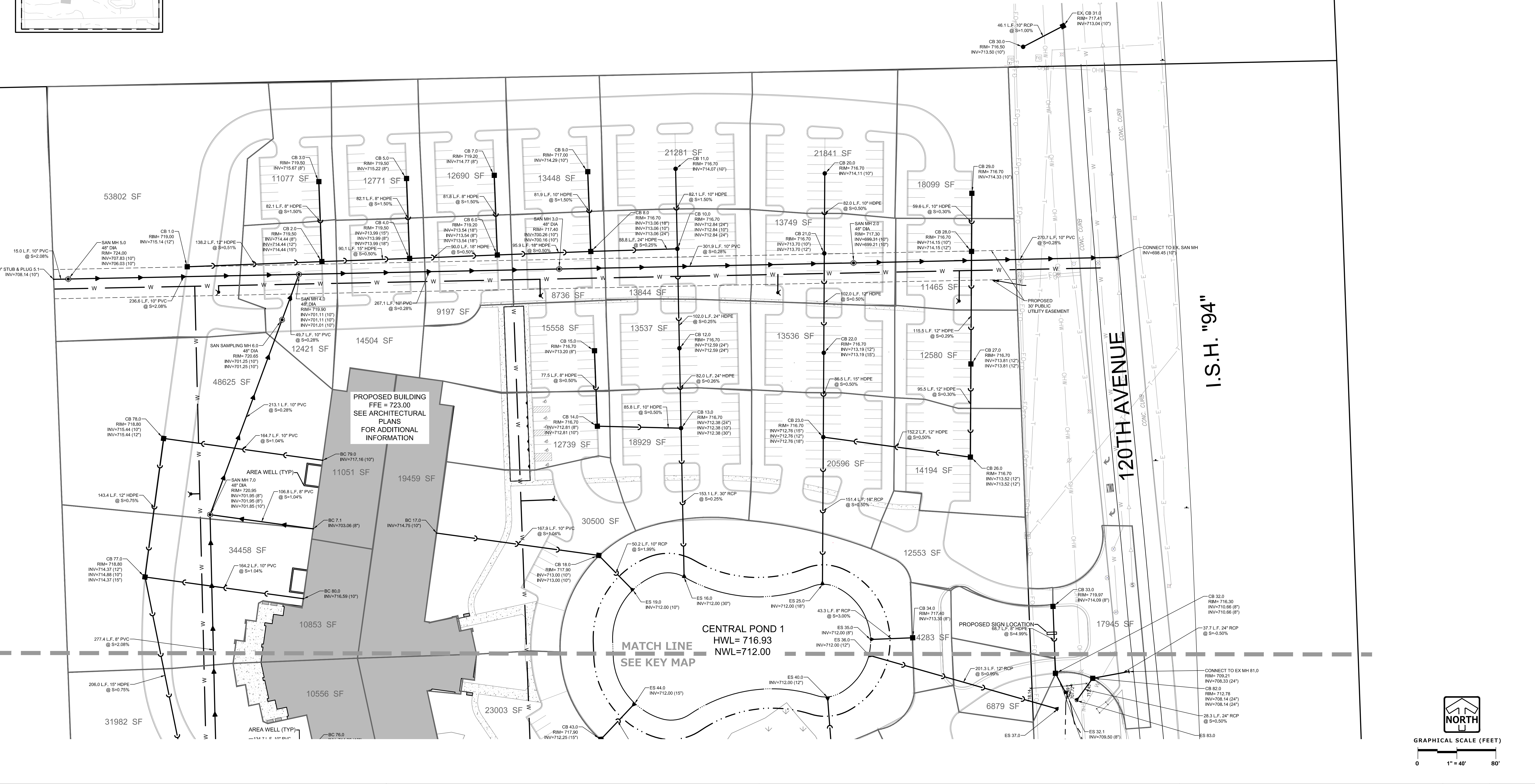
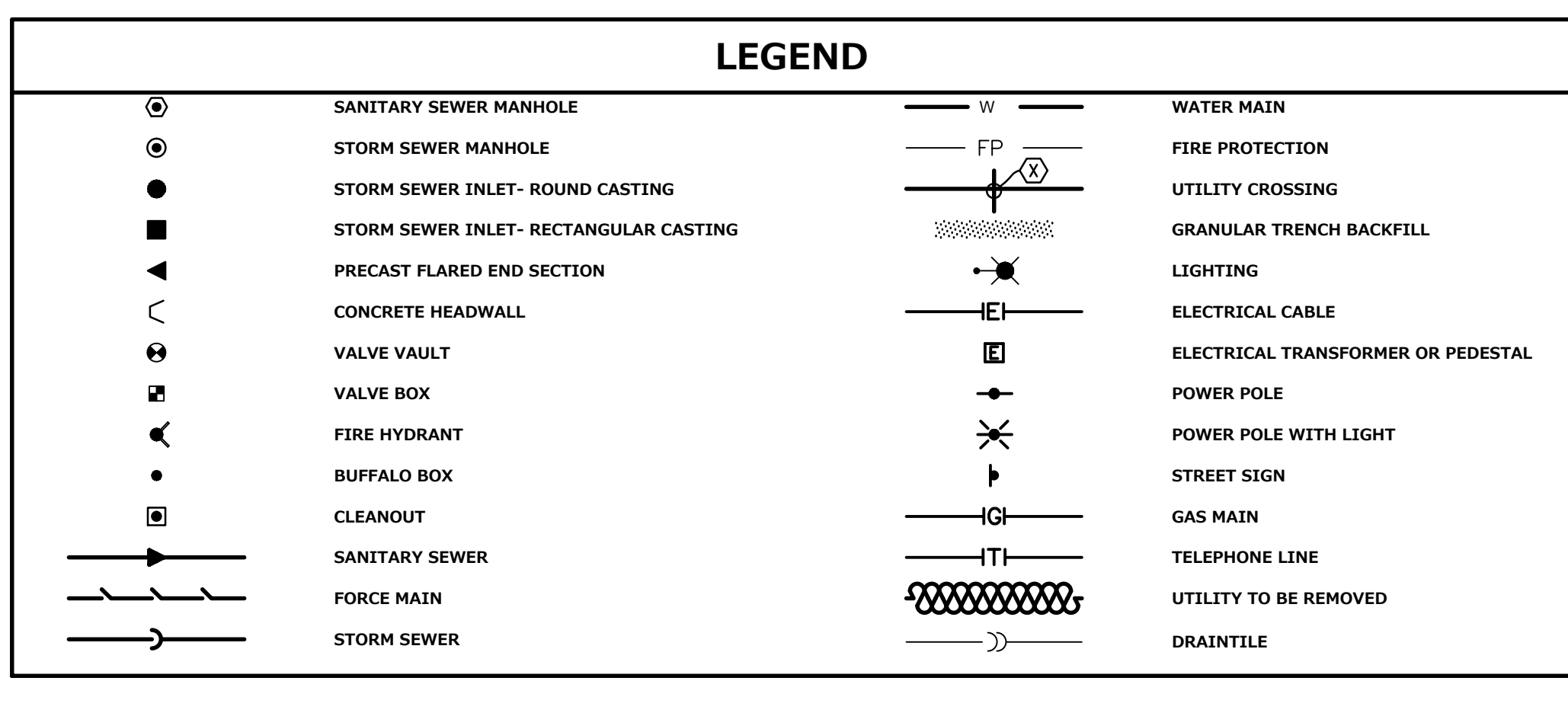
www.pinnacle-engr.com FOR REVIEW GRADING PLAN

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KEY MAP



- NOTES**
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
 - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
 - UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
 - LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
 - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
 - CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
 - STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18 INCHES AND NO GREATER THAN 22 INCHES.
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
17. SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.



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CHECKED: MAC
DRAWN: BRP
REVIEWED: ARA
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UTILITY PLAN

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO.: 119.00A
REG. NO.: ABA
START DATE: 12/20/24
SCALE: 1"=40'

SHEET C-7
C-14

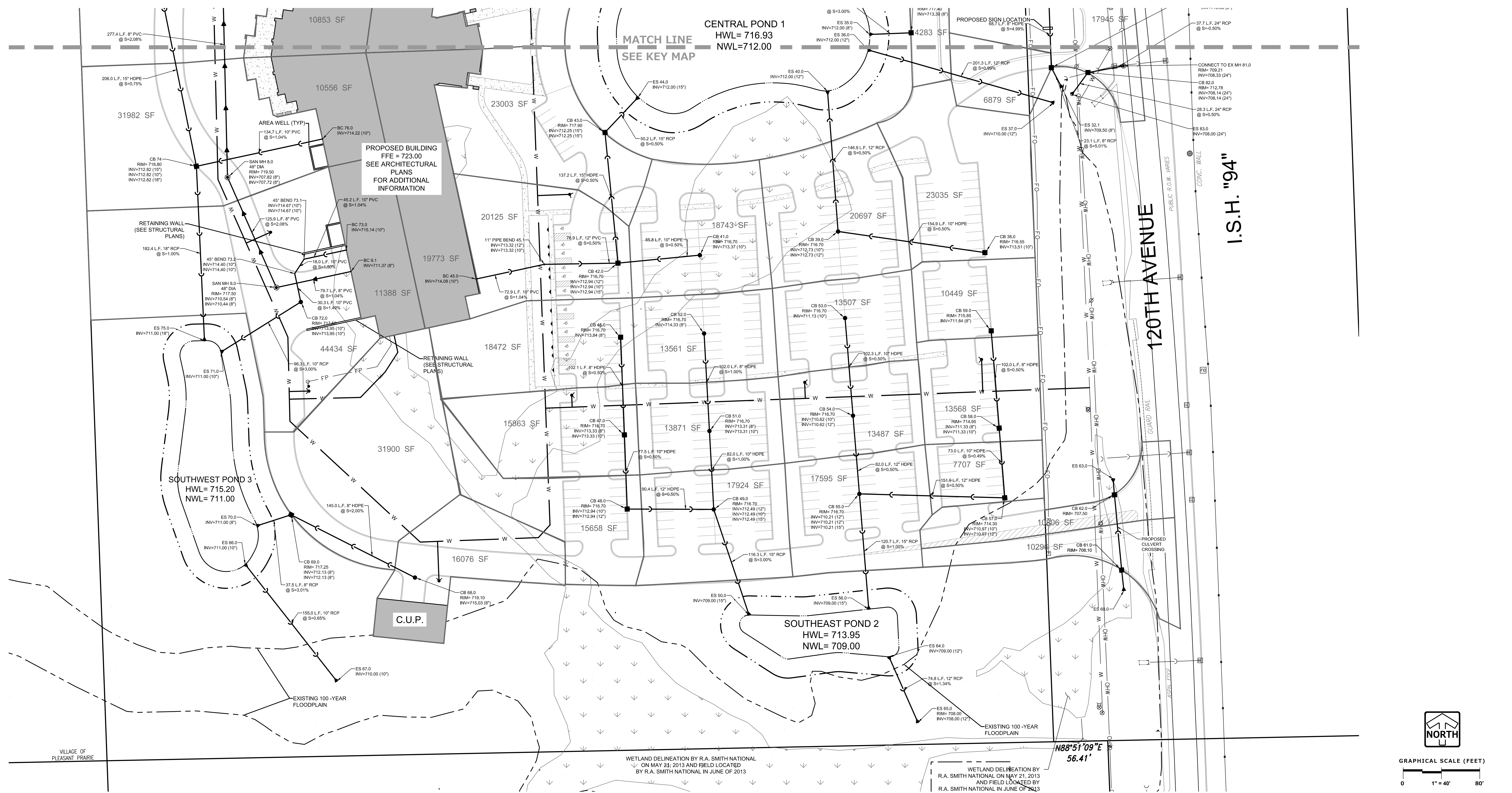
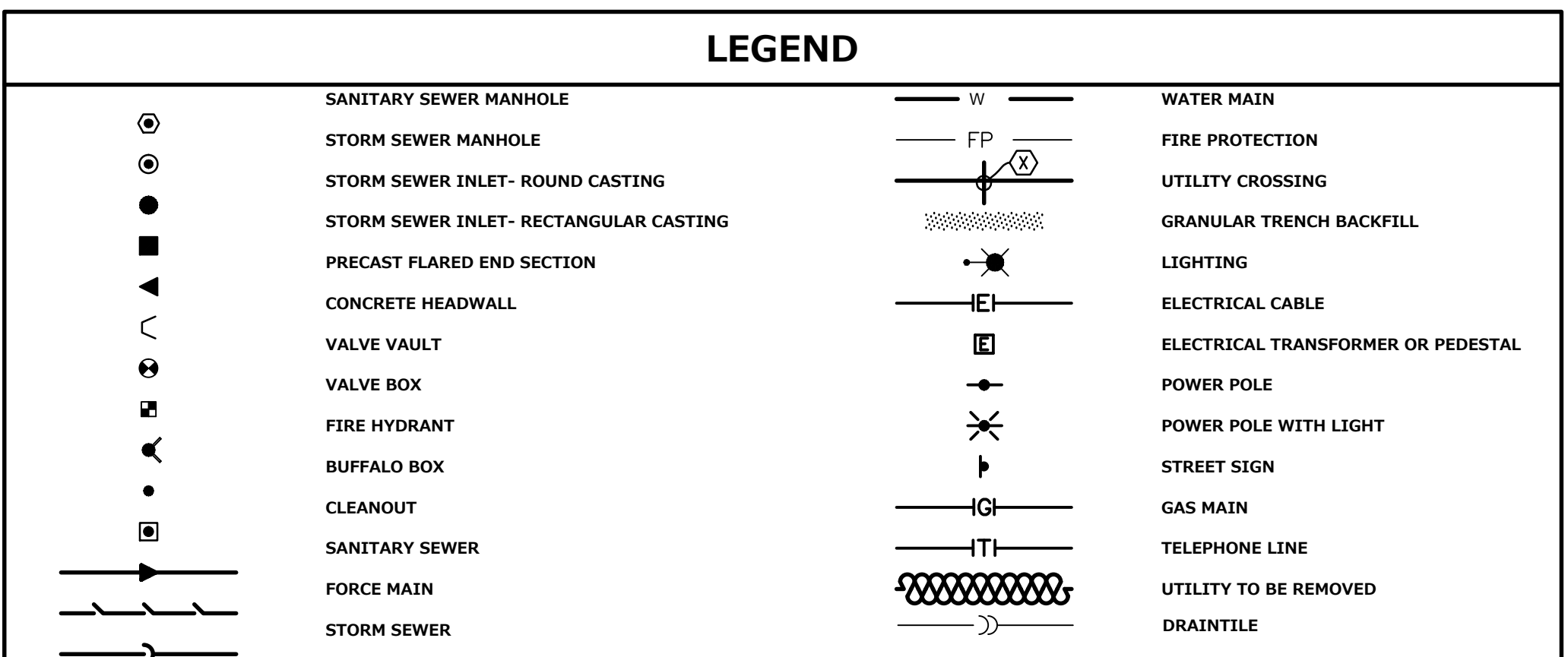
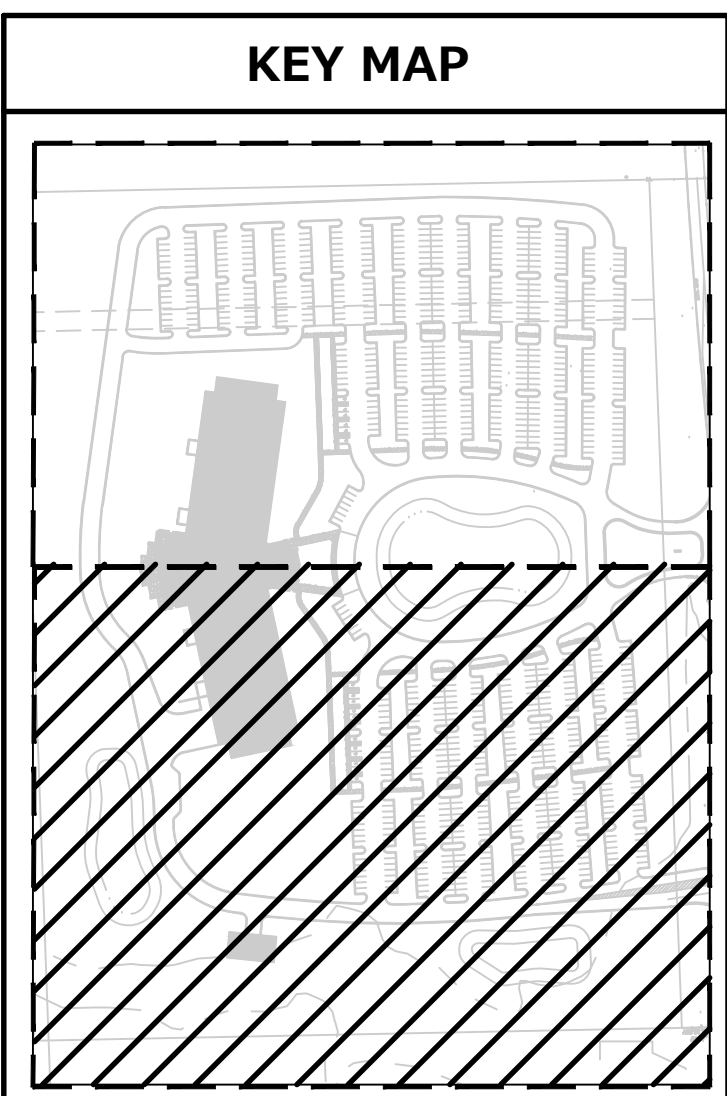
GRAPHICAL SCALE (FEET)
0 1"=40' 80'

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NOTES

- SEE FIRST UTILITY PLAN SHEET FOR UTILITY NOTES.
- SEE CONSTRUCTION DETAILS SECTION FOR ADDITIONAL INFORMATION PERTAINING TO THE UTILITY PLAN.



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SHEET C-8
C-14
UTILITY PLAN

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FOR REVIEW

UTILITY PLAN

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CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
- INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING. INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

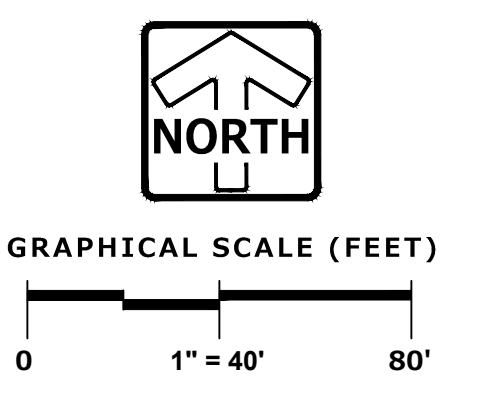
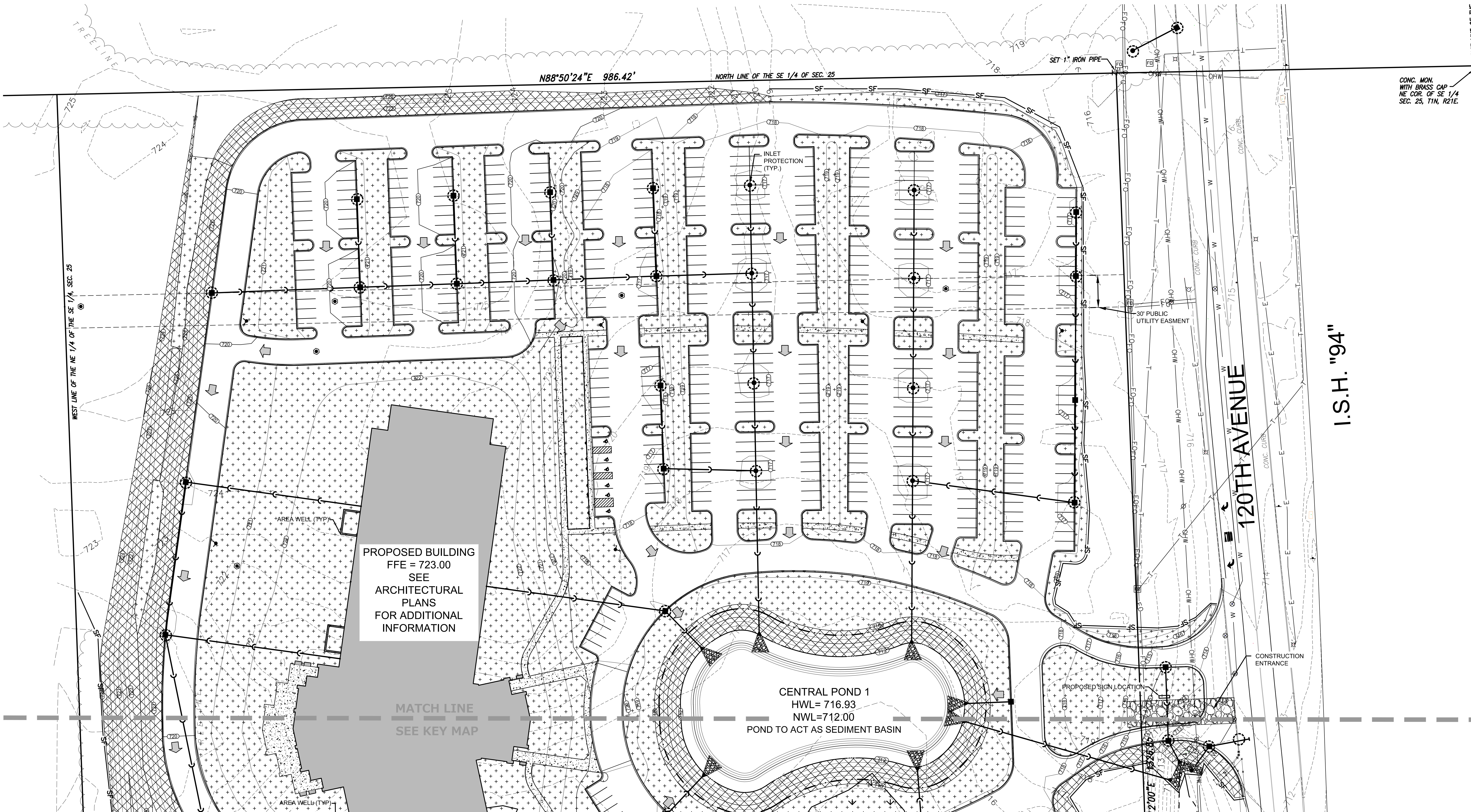
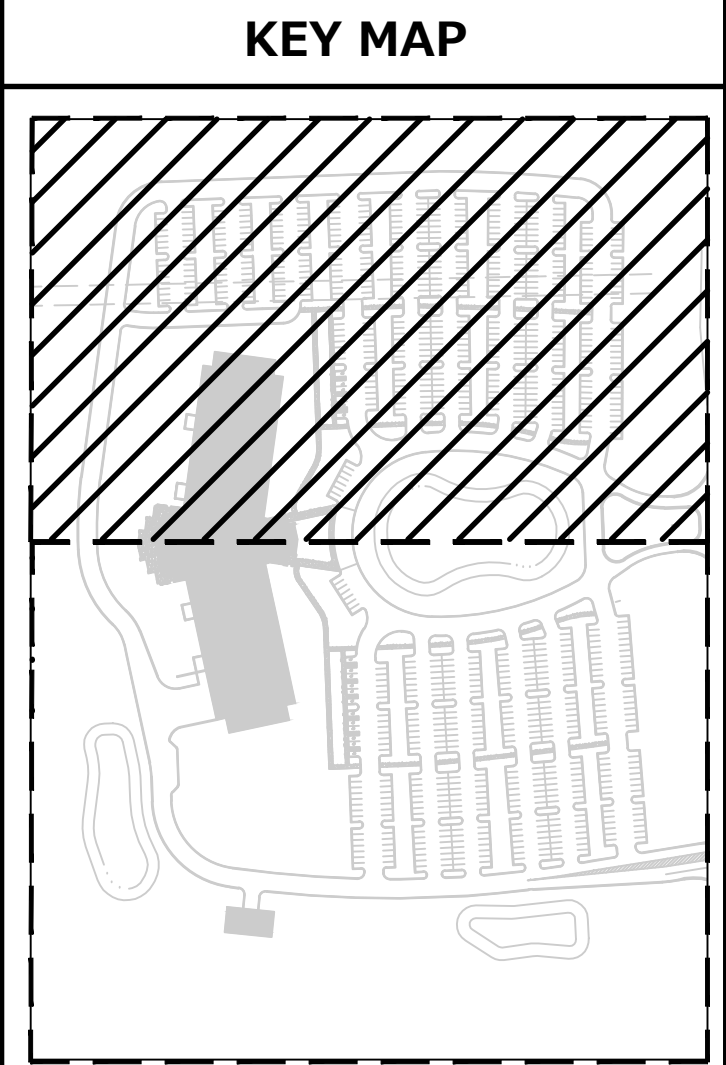
CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMPs PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICHEVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION, EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S758N, EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C1258N (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- TOPSOIL THICKNESS SHALL BE 18" ACROSS SITE.

LEGEND

SANITARY MANHOLE		FLOODPLAIN	
STORM MANHOLE		HIGH WATER LEVEL (HWL)	
CATCH BASIN		NORMAL WATER LEVEL (NWL)	
INLET		DIRECTION OF SURFACE FLOW	
PRECAST FLARED END SECTION		DITCH OR SWALE	
CONCRETE HEADWALL		DIVERSION SWALE	
VALVE VAULT		OVERFLOW RELIEF ROUTING	
VALVE BOX		FENCE LINE, TEMPORARY SILT	
FIRE HYDRANT		RIP RAP OUTFALL PROTECTION	
CLEANOUT		INLET PROTECTION (SEE DETAIL)	
CONTOUR		CONSTRUCTION ENTRANCE	
WETLANDS		HYDROSEED (PER MANUFACTURER'S SPECIFICATIONS)	
FLOODWAY		EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)	
DIVERSION SWALE/BERM			



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15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI

SITE STABILIZATION PLAN

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO.: 119.00A
REG. PM: ABA
START DATE: 12/20/24
SCALE:

SHEET C-9 OF C-14

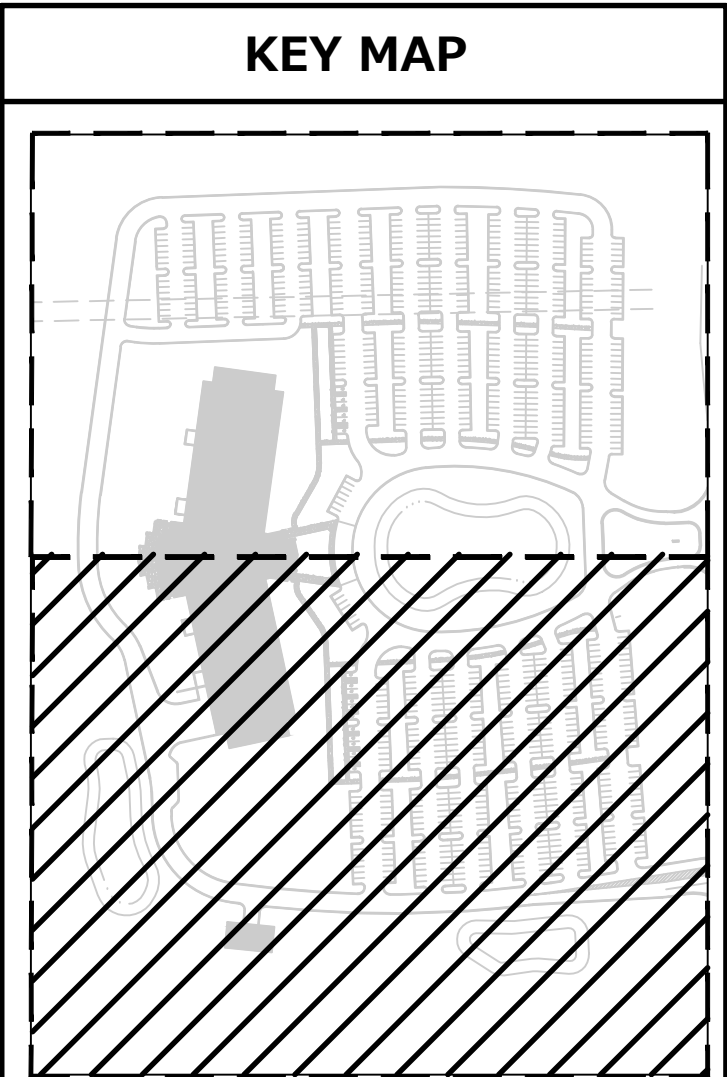
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 SITE STABILIZATION PLAN

DESIGNED: MAC
 DRAWN: BRP
 REVIEWED: ARA
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THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

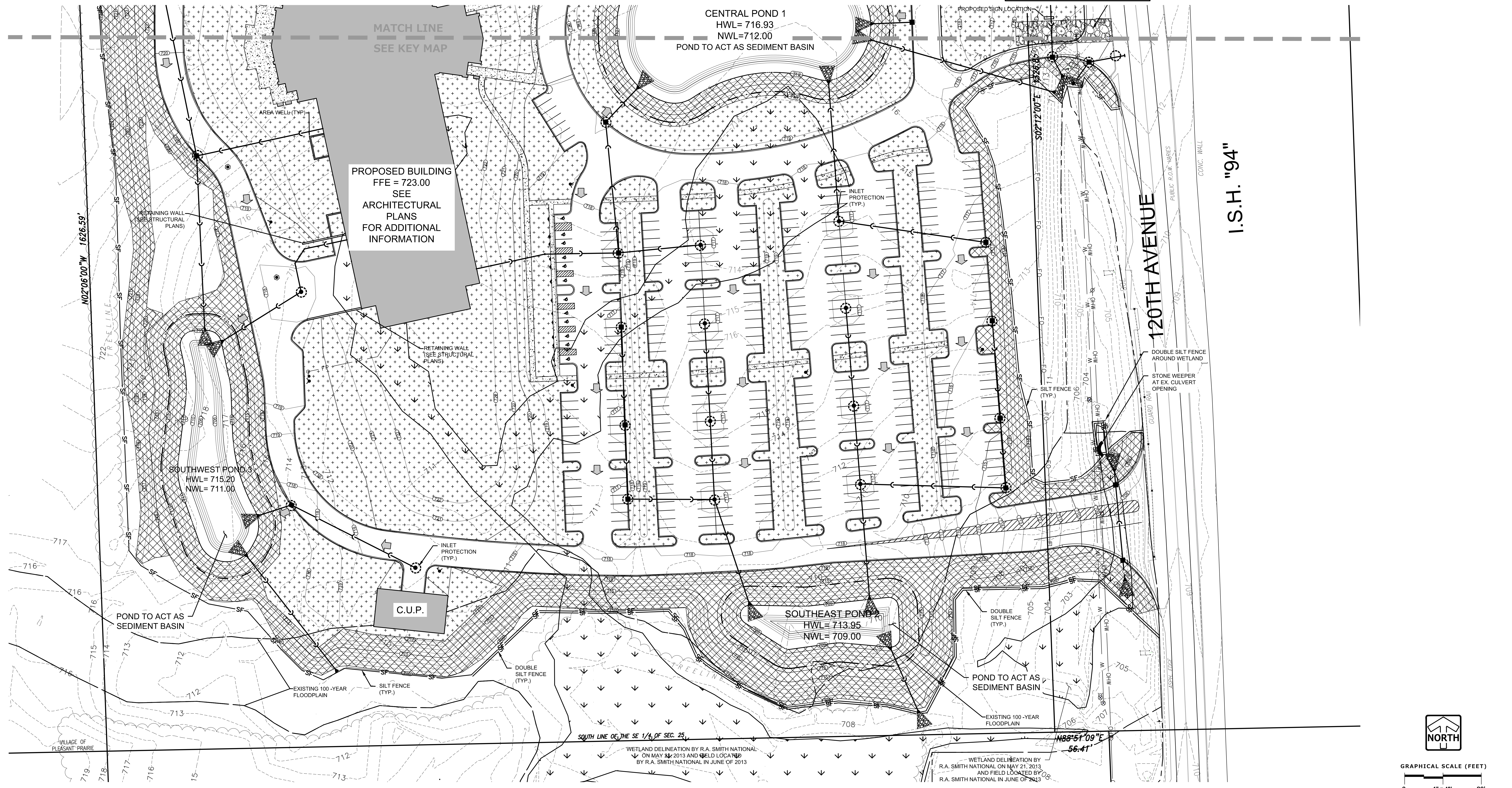
NOTES

- SEE FIRST SITE STABILIZATION PLAN SHEET FOR GENERAL EROSION AND SEDIMENT CONTROL NOTES.
- SEE CONSTRUCTION DETAILS SECTION FOR ADDITIONAL INFORMATION PERTAINING TO THE SITE STABILIZATION PLAN.



LEGEND

SANITARY MANHOLE		FLOODPLAIN	
STORM MANHOLE		HIGH WATER LEVEL (HWL)	
CATCH BASIN		NORMAL WATER LEVEL (NWL)	
INLET		DIRECTION OF SURFACE FLOW	
PRECAST FLARED END SECTION		DITCH OR SWALE	
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SITE STABILIZATION PLAN

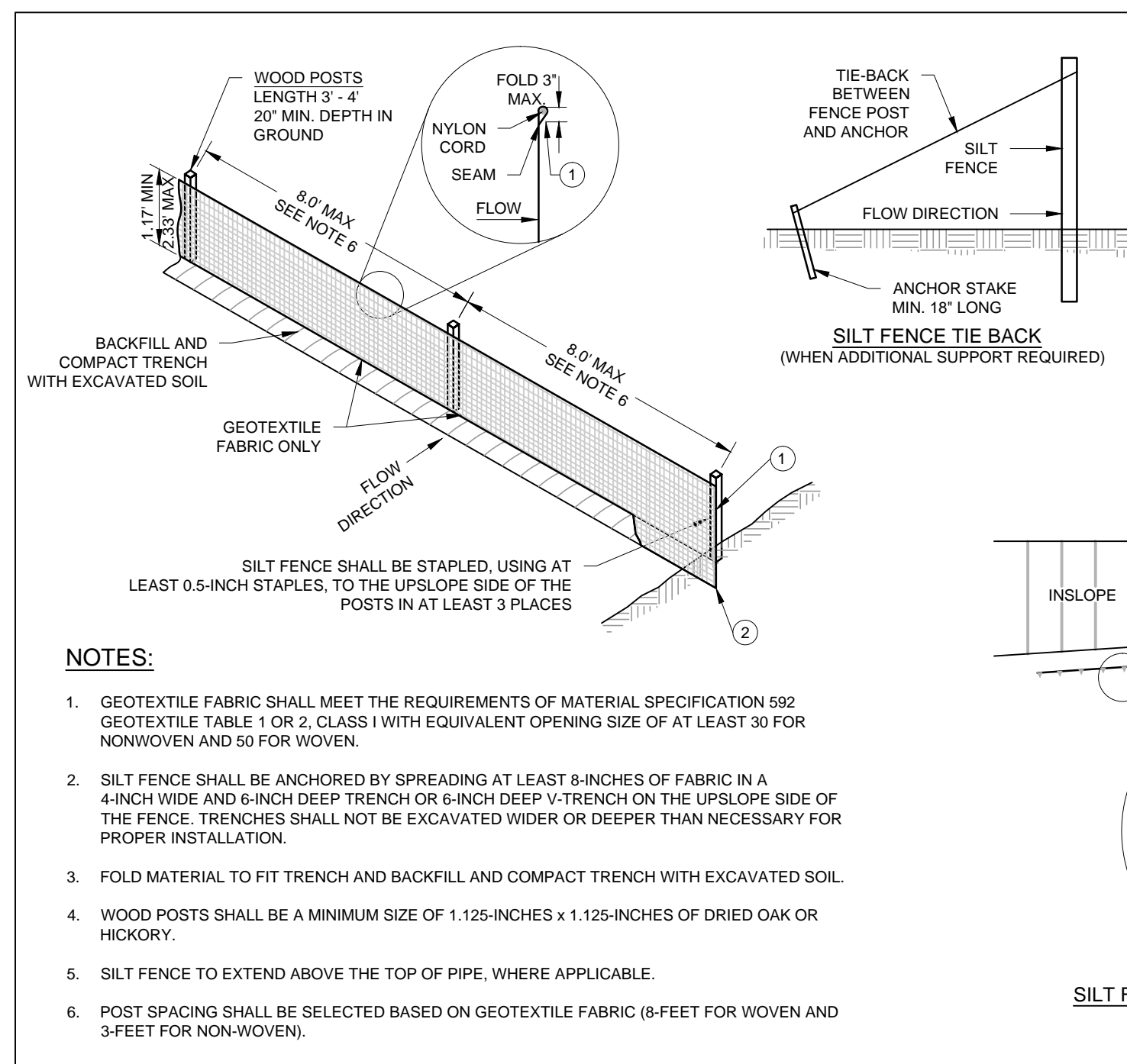
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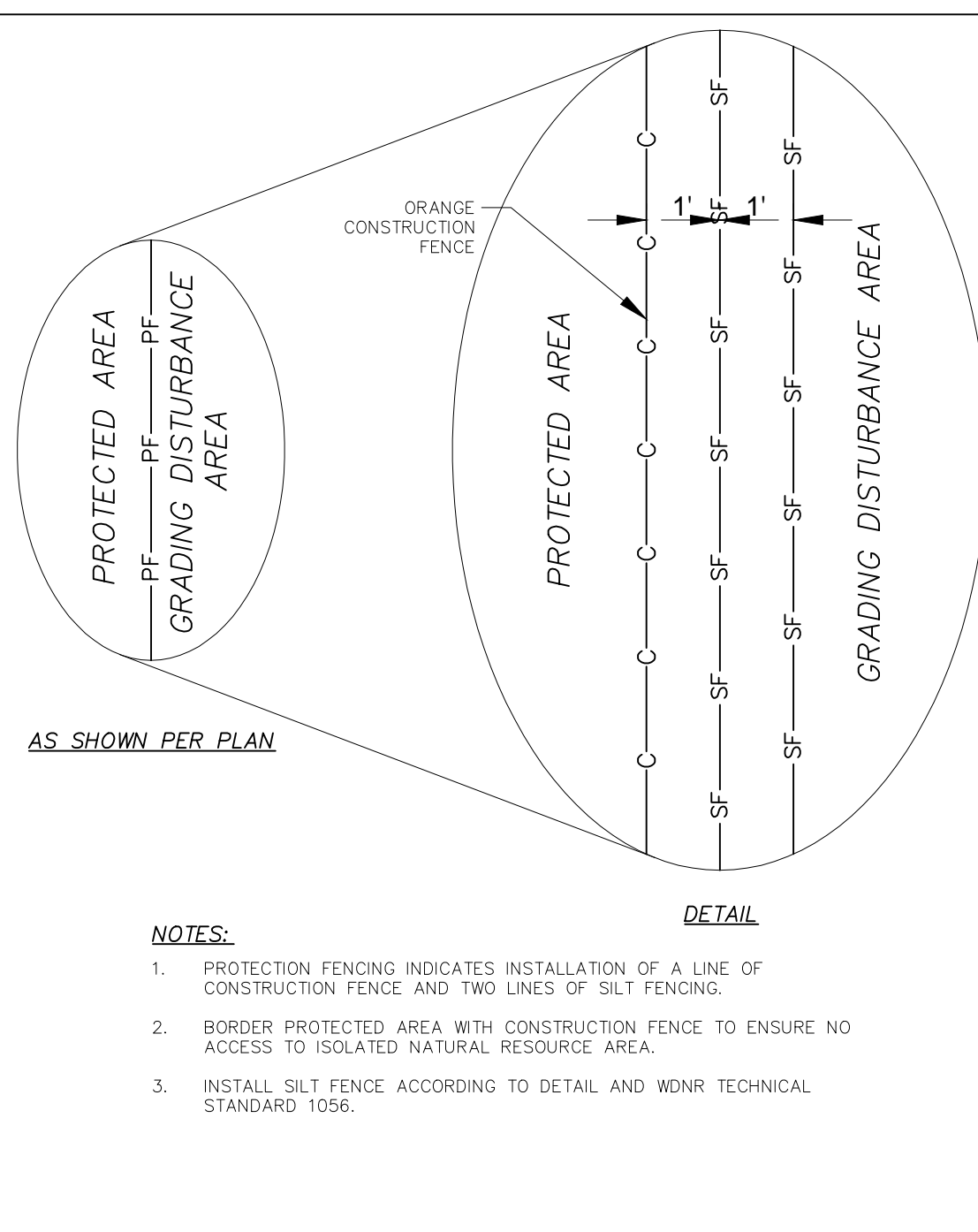
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 SITE STABILIZATION PLAN

DESIGNED: MAC
REVIEWED: ABA
BRACKET: BRP
CONSTRUCTION DETAILS



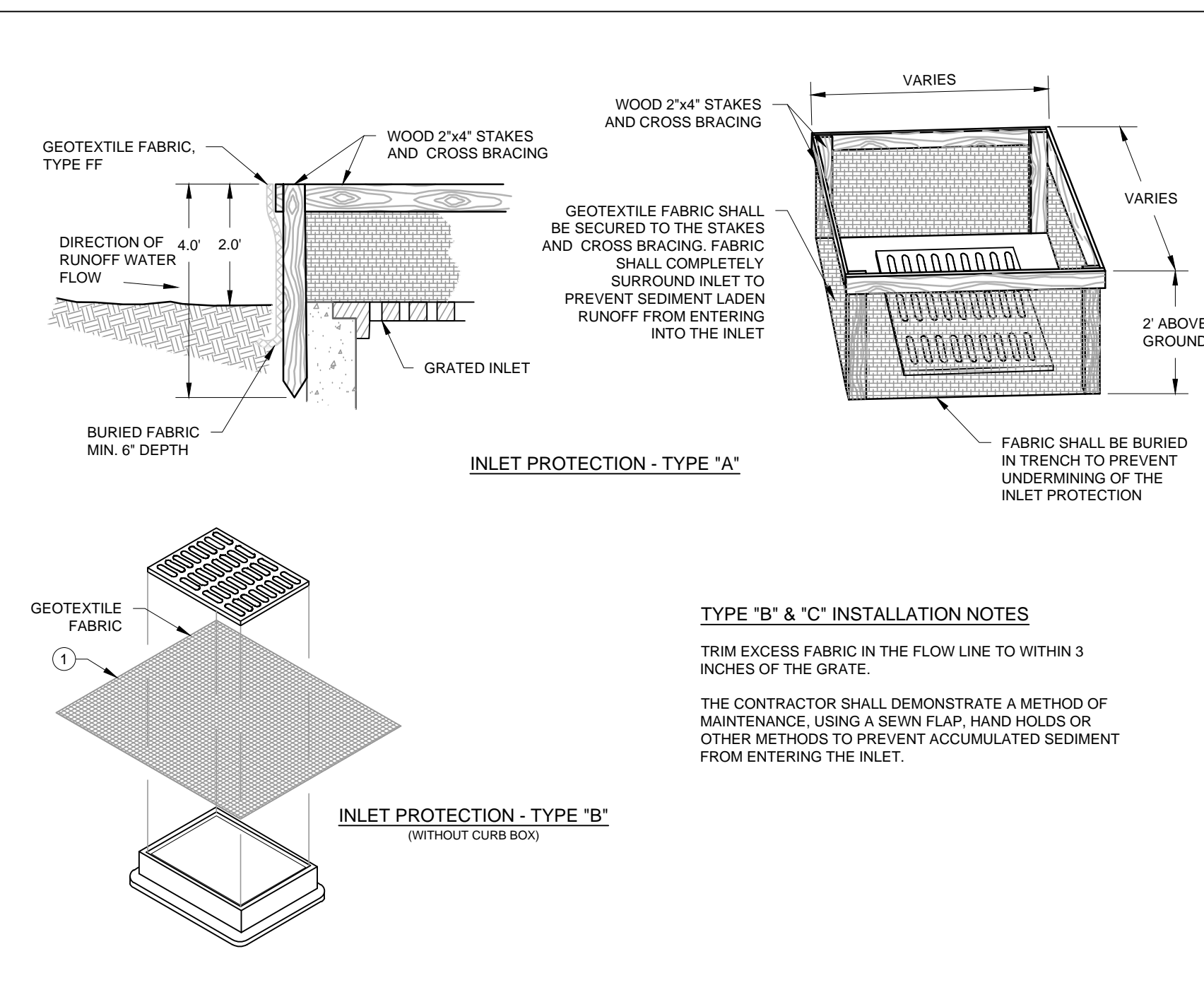
- NOTES:**
1. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 50 FOR NONWOVEN AND 50 FOR WOVEN.
 2. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 3. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 4. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2-INCHES x 1-1/2-INCHES OF DRIED OAK OR HICKORY.
 5. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE, WHERE APPLICABLE.
 6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN AND 3- FEET FOR NON-WOVEN).

SILT FENCE



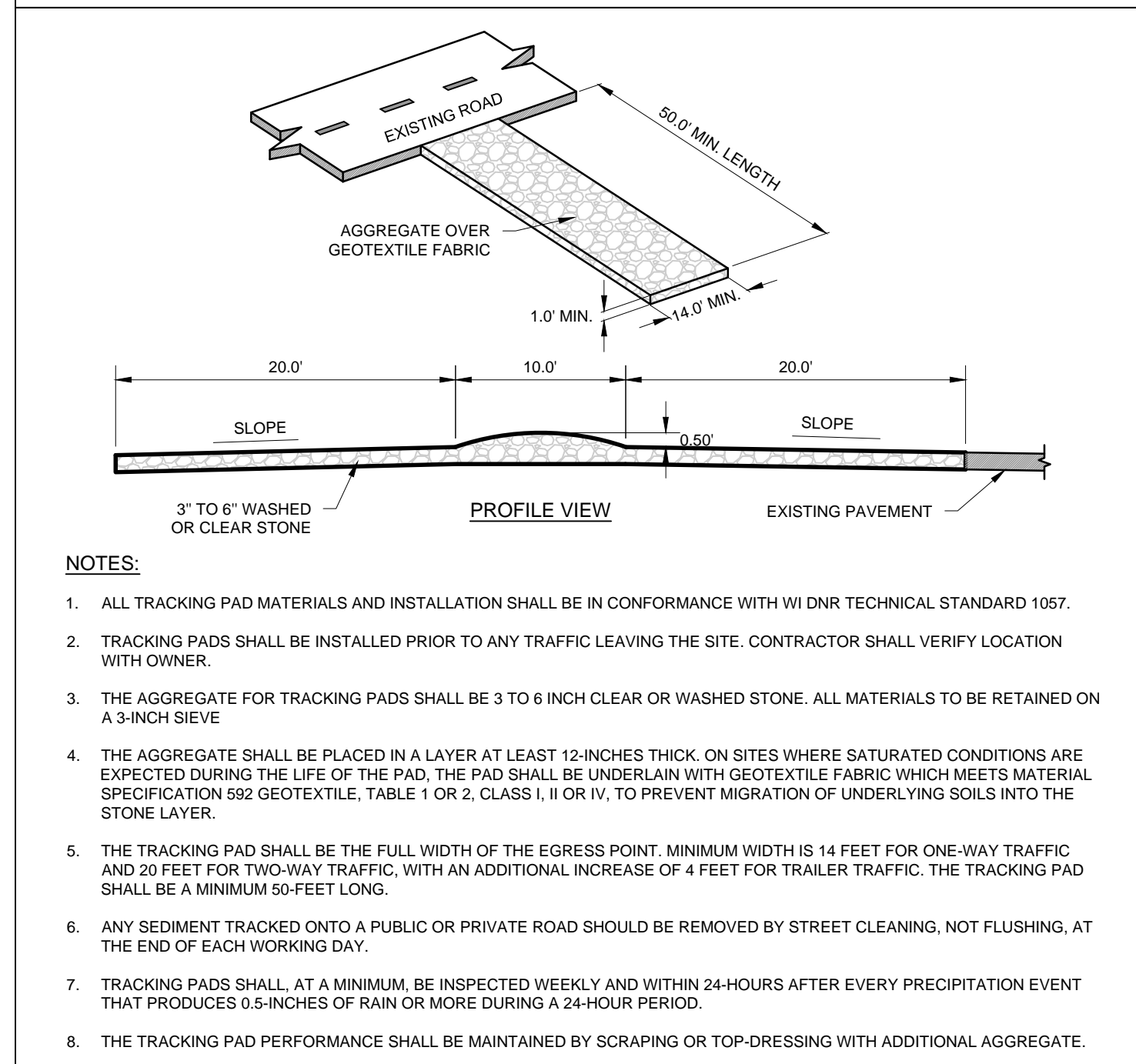
- NOTES:**
1. PROTECTION FENCING INDICATES INSTALLATION OF A LINE OF CONSTRUCTION FENCE AND TWO LINES OF SILT FENCING.
 2. BORDER PROTECTED AREA WITH CONSTRUCTION FENCE TO ENSURE NO ACCESS TO ISOLATED NATURAL RESOURCE AREA.
 3. INSTALL SILT FENCE ACCORDING TO DETAIL AND WDMR TECHNICAL STANDARD 1056.

PROTECTION FENCE



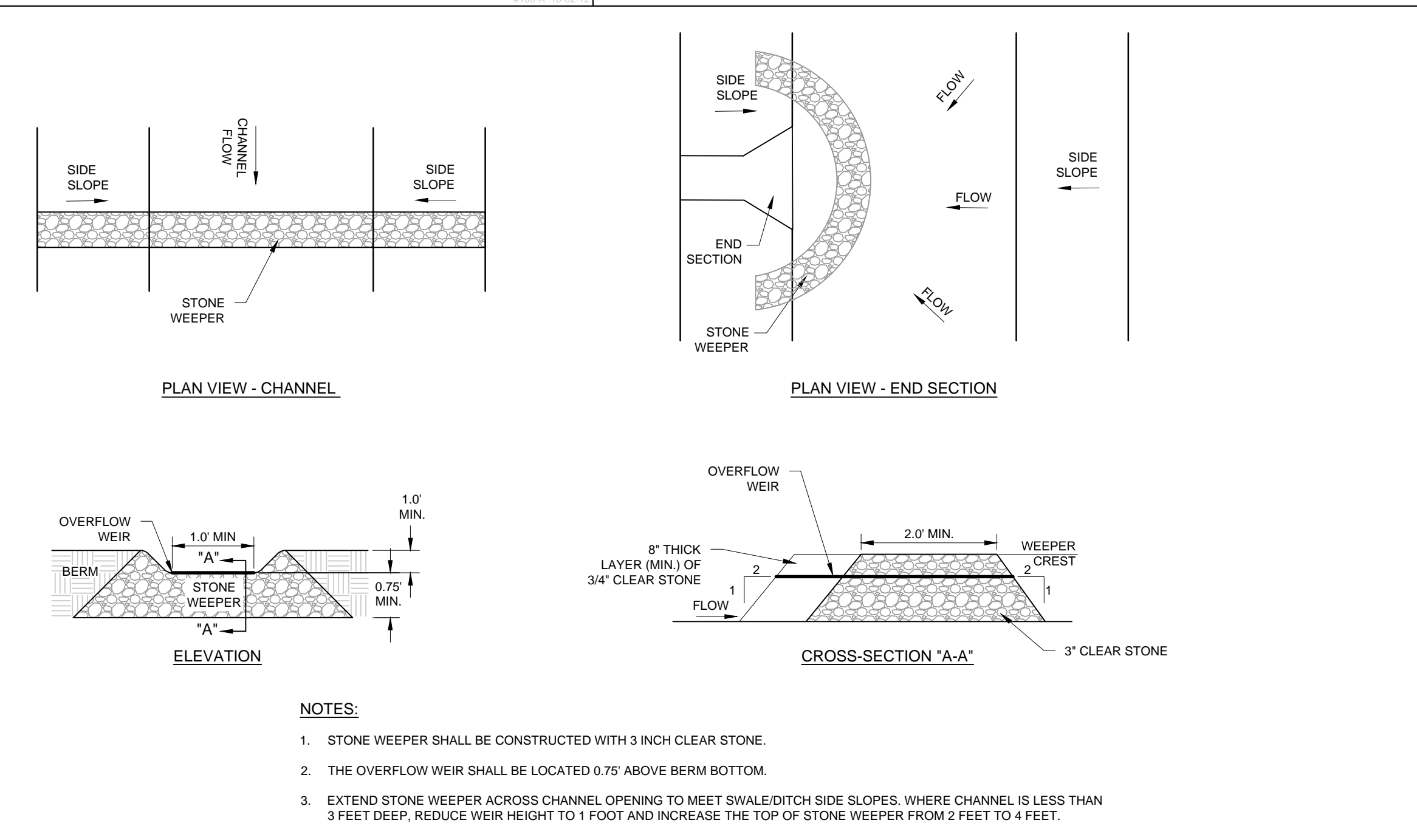
- NOTES:**
1. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS 1, WITH AN EDS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - ① FINISHED SIZE, INCLUDING FLAP POCKET WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - ② FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18 INCHES OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INLET PROTECTION



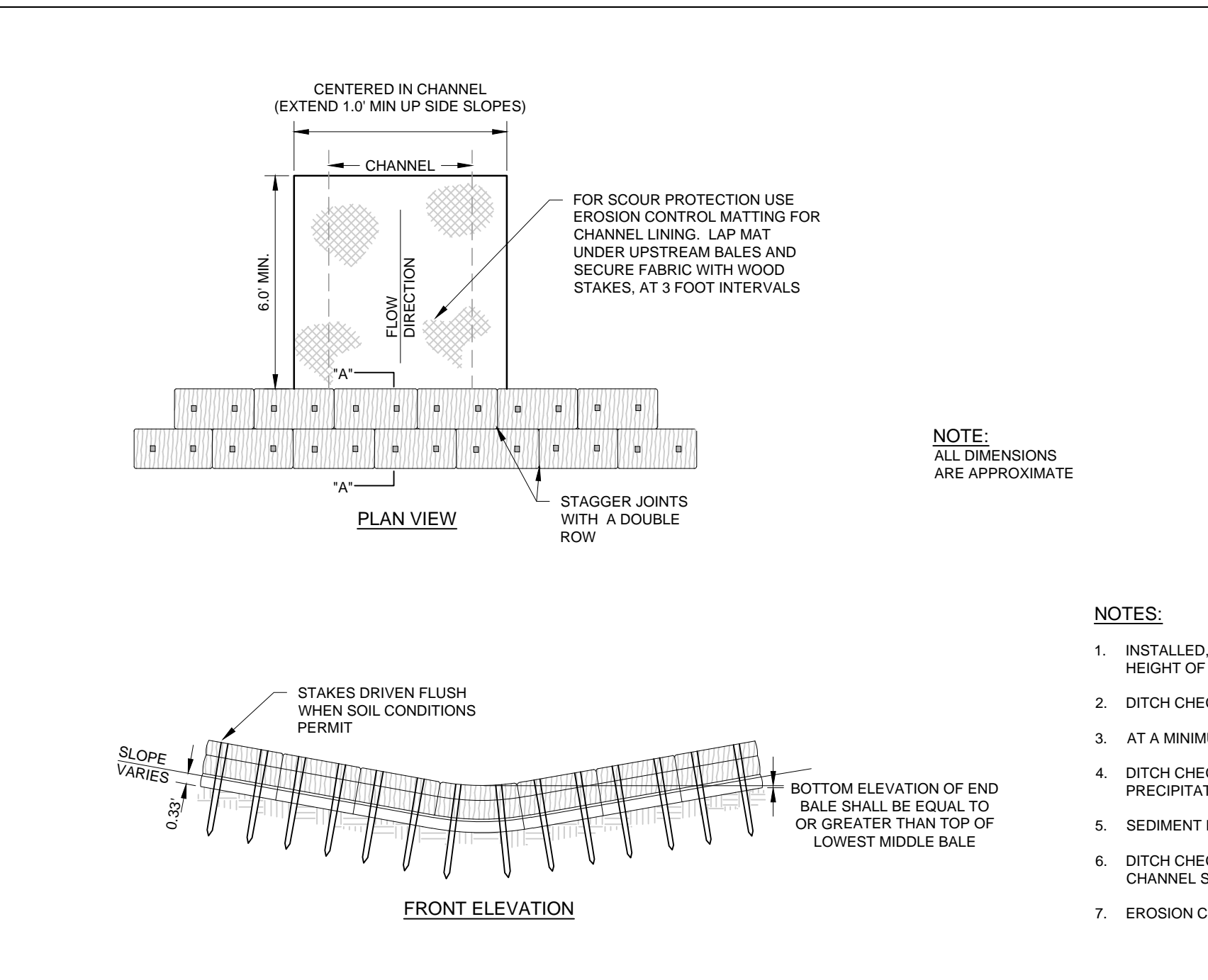
- NOTES:**
1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WDMR TECHNICAL STANDARD 1057.
 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3-INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS 1, 1/4 OR 1/2, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT, MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 20 FEET LONG.
 6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE



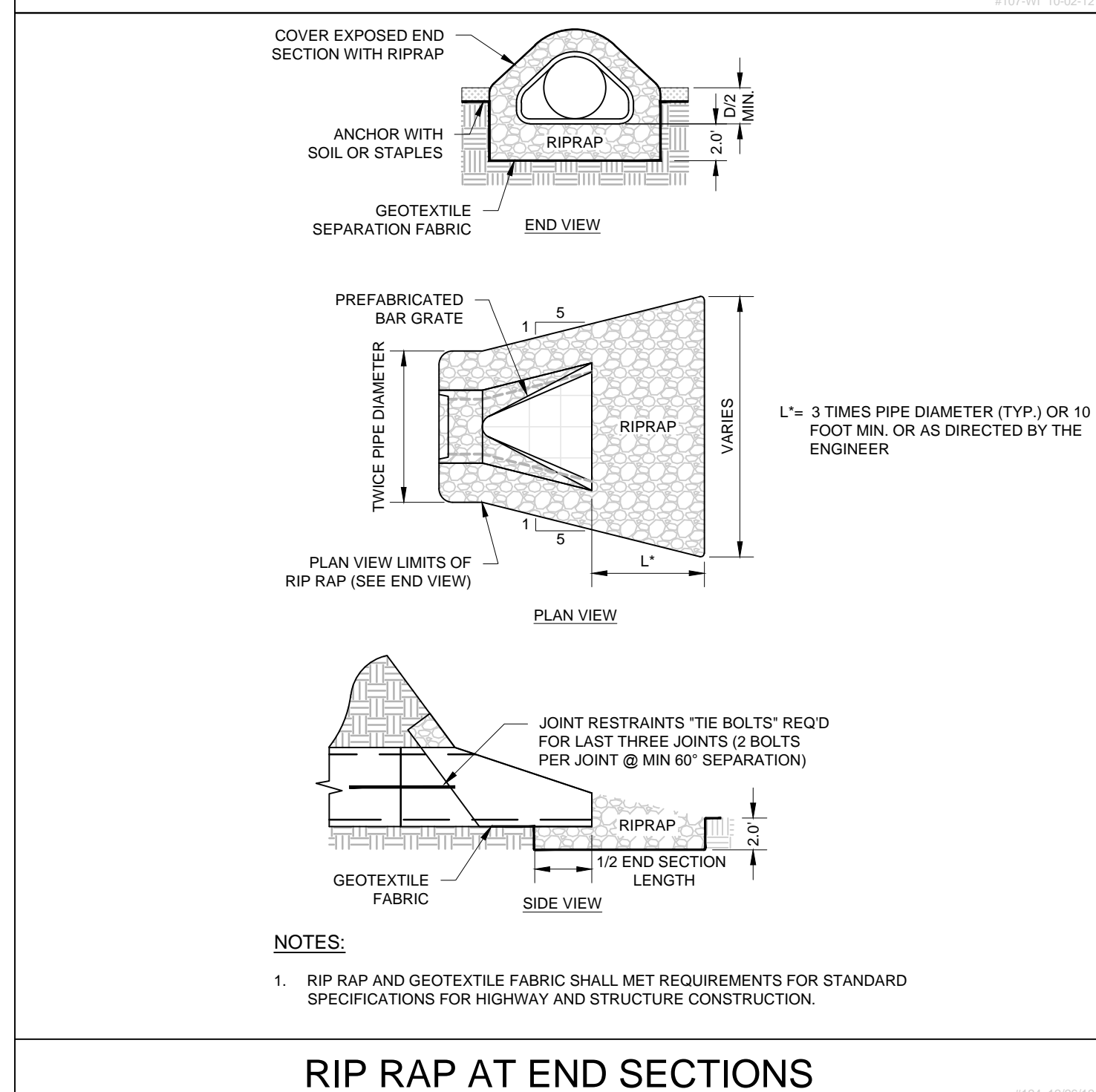
- NOTES:**
1. STONE WEEPER SHALL BE CONSTRUCTED WITH 3 INCH CLEAR STONE.
 2. THE OVERFLOW WEIR SHALL BE LOCATED 0.75' ABOVE BERM BOTTOM.
 3. EXTEND STONE WEEPER ACROSS CHANNEL OPENING TO MEET SWALE/DITCH SIDE SLOPES. WHERE CHANNEL IS LESS THAN 3 FEET DEEP, REDUCE WEIR HEIGHT TO 1 FOOT AND INCREASE THE TOP OF STONE WEEPER FROM 2 FEET TO 4 FEET.

STONE WEEPER



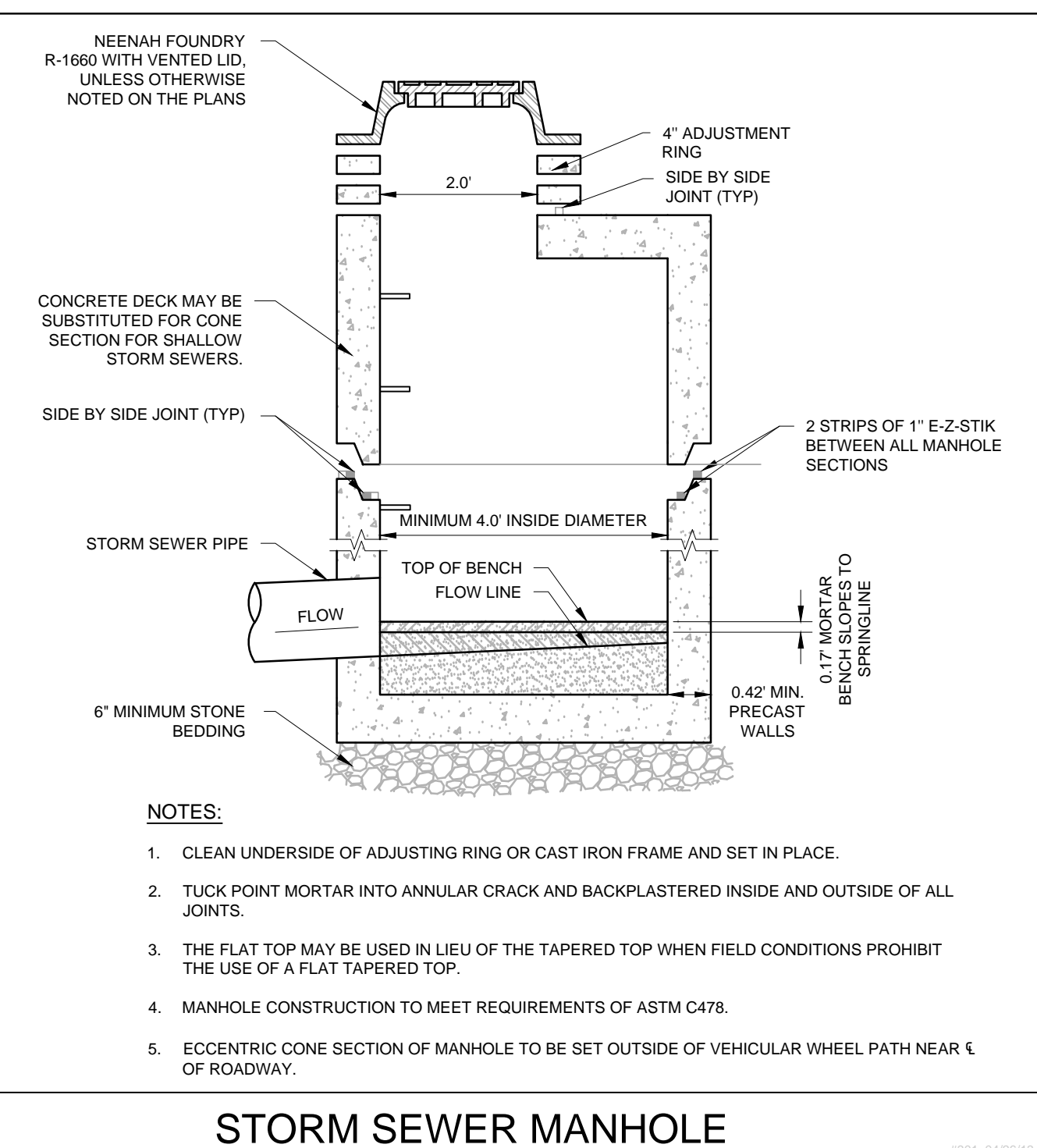
- NOTES:**
1. INSTALLED. THE MINIMUM HEIGHT OF DITCH CHECK SHALL BE 10-INCHES AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 16-INCHES FOR MANUFACTURED OR BIODEGRADABLE MATERIALS.
 2. DITCH CHECK MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A WEIR.
 3. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO- FEET OF DROP IN THE CHANNEL.
 4. DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 5. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.
 6. DITCH CHECK SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND CHANNEL STABILIZATION IS APPLIED.
 7. EROSION CONTROL MATTING FOR CHANNELS SHALL BE NORTH AMERICAN GREEN C1258N OR EQUAL.

DITCH CHECK WITH STRAW BALES



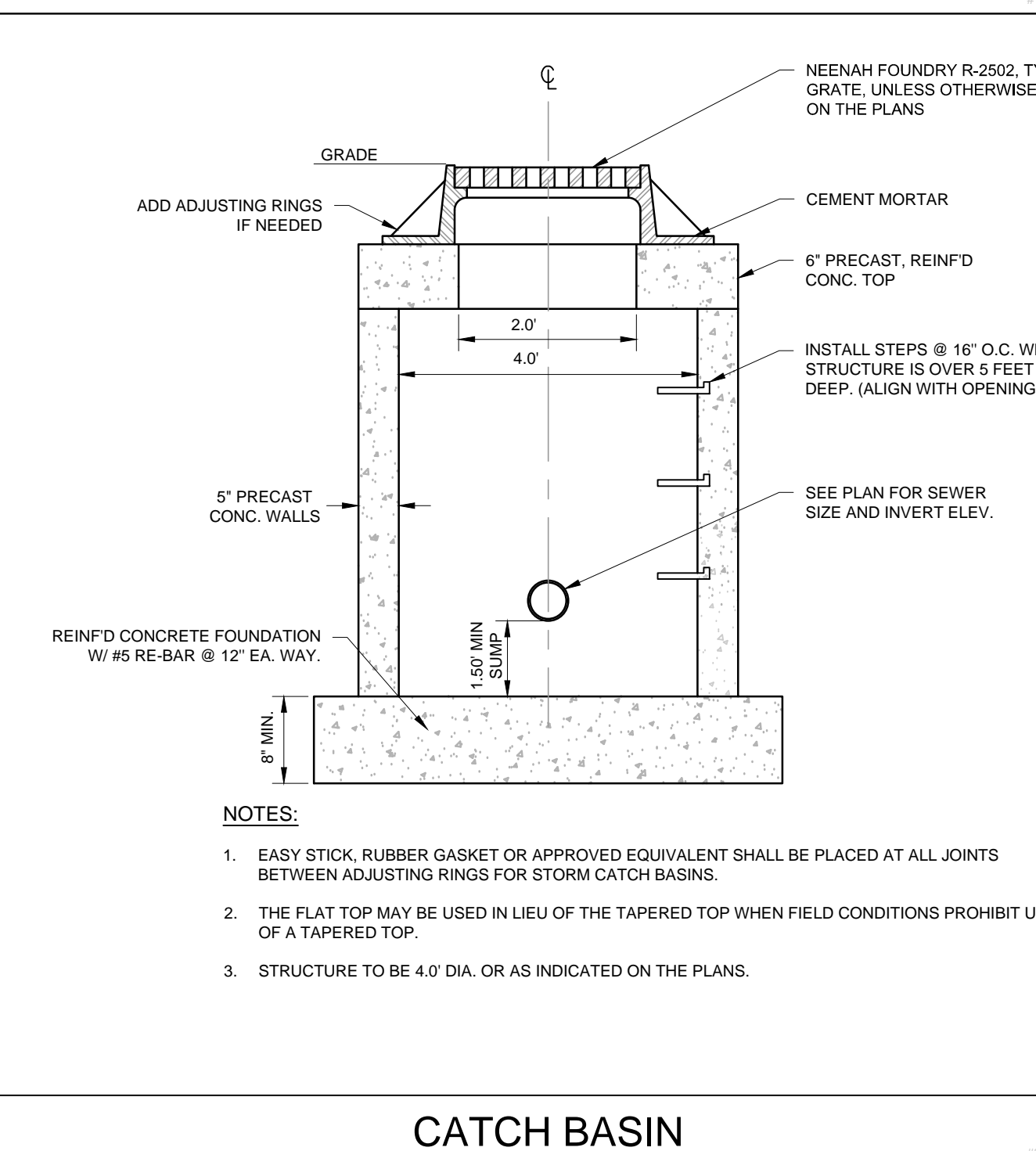
- NOTES:**
1. RIP RAP AND GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS FOR STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

RIP RAP AT END SECTIONS



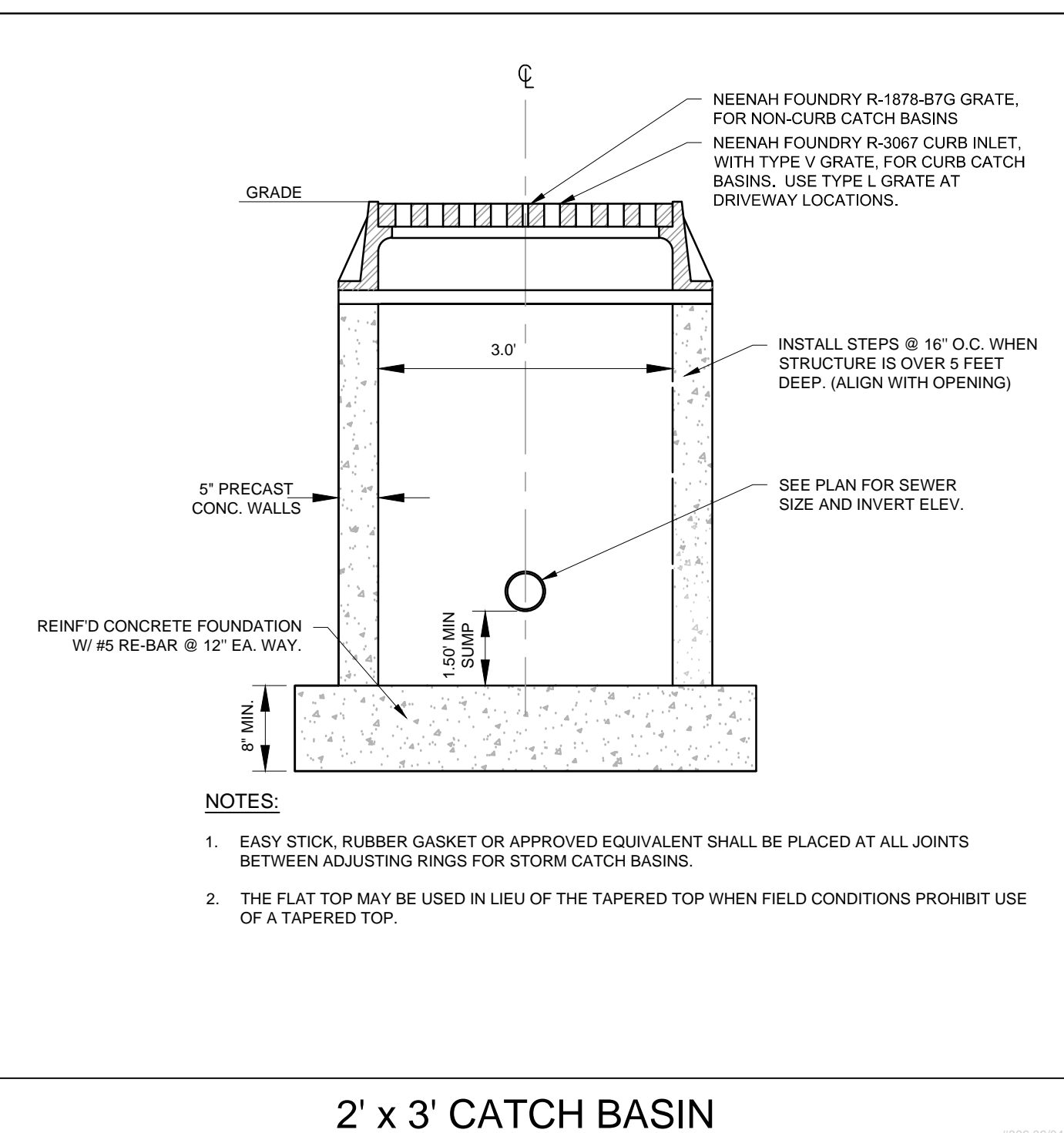
- NOTES:**
1. CLEAN UNDERSIDE OF ADJUSTING RING OR CAST IRON FRAME AND SET IN PLACE.
 2. TUCK POINT MORTAR INTO ANNUAL CRACK AND BACKPLASTERED INSIDE AND OUTSIDE OF ALL JOINTS.
 3. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT THE USE OF A FLAT TAPERED TOP.
 4. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
 5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR 1/4 OF ROADWAY.

STORM SEWER MANHOLE



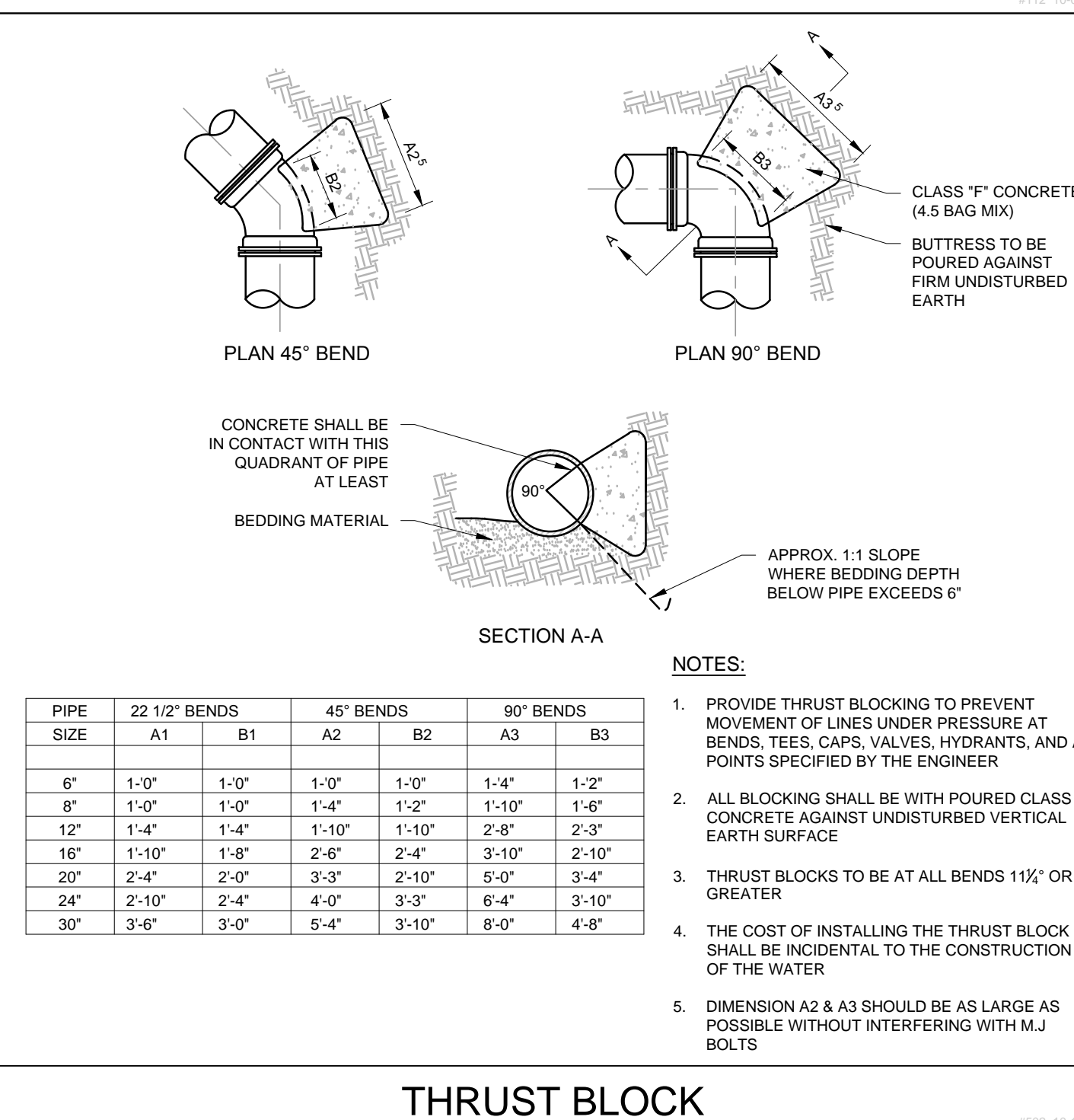
- NOTES:**
1. EASY STICK, RUBBER GASKET OR APPROVED EQUIVALENT SHALL BE PLACED AT ALL JOINTS BETWEEN ADJUSTING RINGS FOR STORM CATCH BASINS.
 2. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT USE OF A TAPERED TOP.
 3. STRUCTURE TO BE 4.0' DIA. OR AS INDICATED ON THE PLANS.

CATCH BASIN



- NOTES:**
1. EASY STICK, RUBBER GASKET OR APPROVED EQUIVALENT SHALL BE PLACED AT ALL JOINTS BETWEEN ADJUSTING RINGS FOR STORM CATCH BASINS.
 2. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT USE OF A TAPERED TOP.

2' x 3' CATCH BASIN

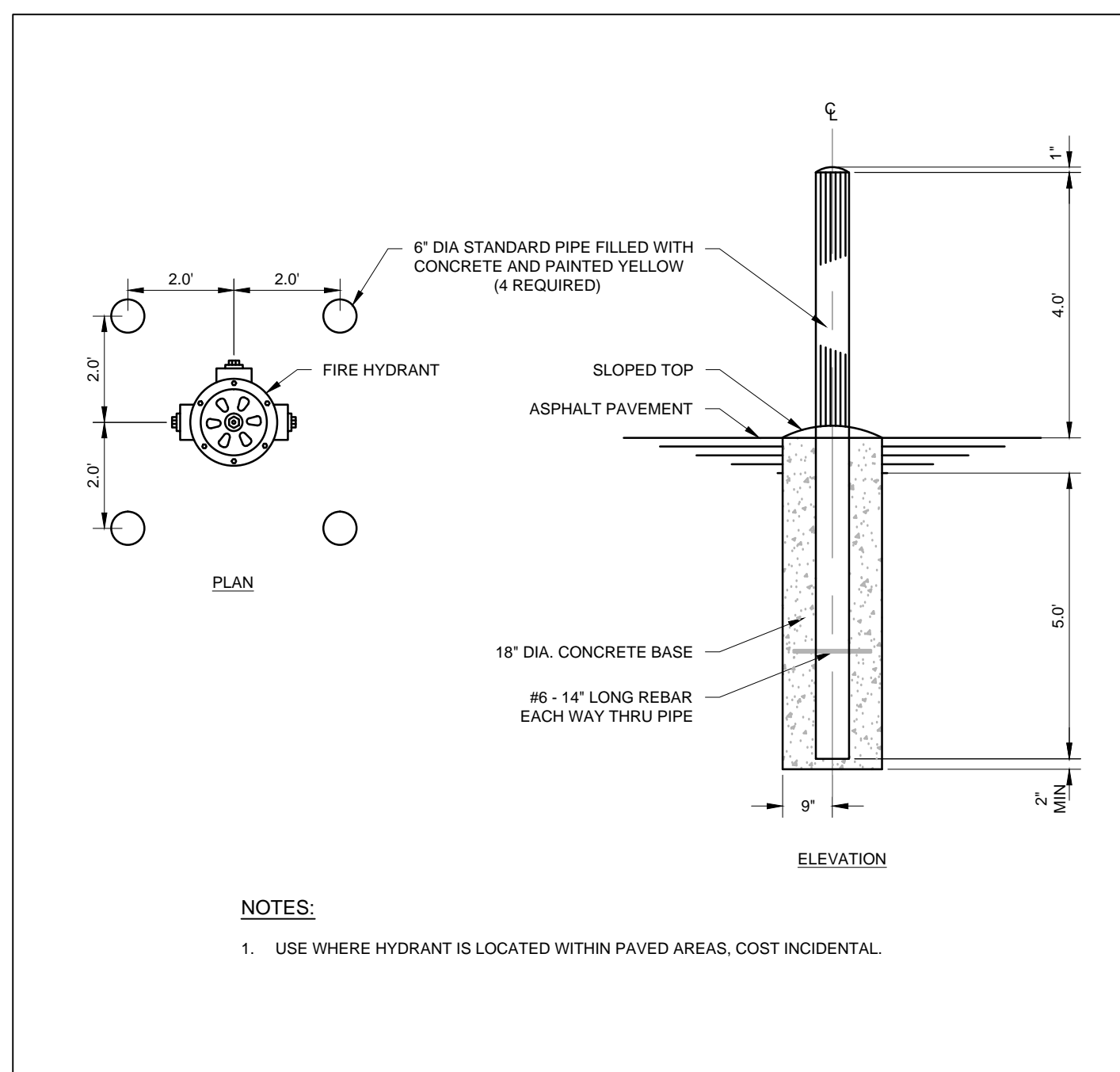


- NOTES:**
1. PROVIDE THRUST BLOCKING TO PREVENT MOVEMENT OF LINES UNDER PRESSURE AT BENDS, TEES, CAPS, VALVES, HYDRANTS, AND AT POINTS SPECIFIED BY THE ENGINEER.
 2. ALL BLOCKING SHALL BE WITH POURED CLASS III CONCRETE AGAINST UNDISTURBED VERTICAL EARTH SURFACE.
 3. THRUST BLOCKS TO BE AT ALL BENDS 11/2" OR GREATER.
 4. THE COST OF INSTALLING THE THRUST BLOCK SHALL BE INCIDENTAL TO THE CONSTRUCTION OF THE WATER.
 5. DIMENSION A2 & A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH U.J. BOLTS.

THRUST BLOCK

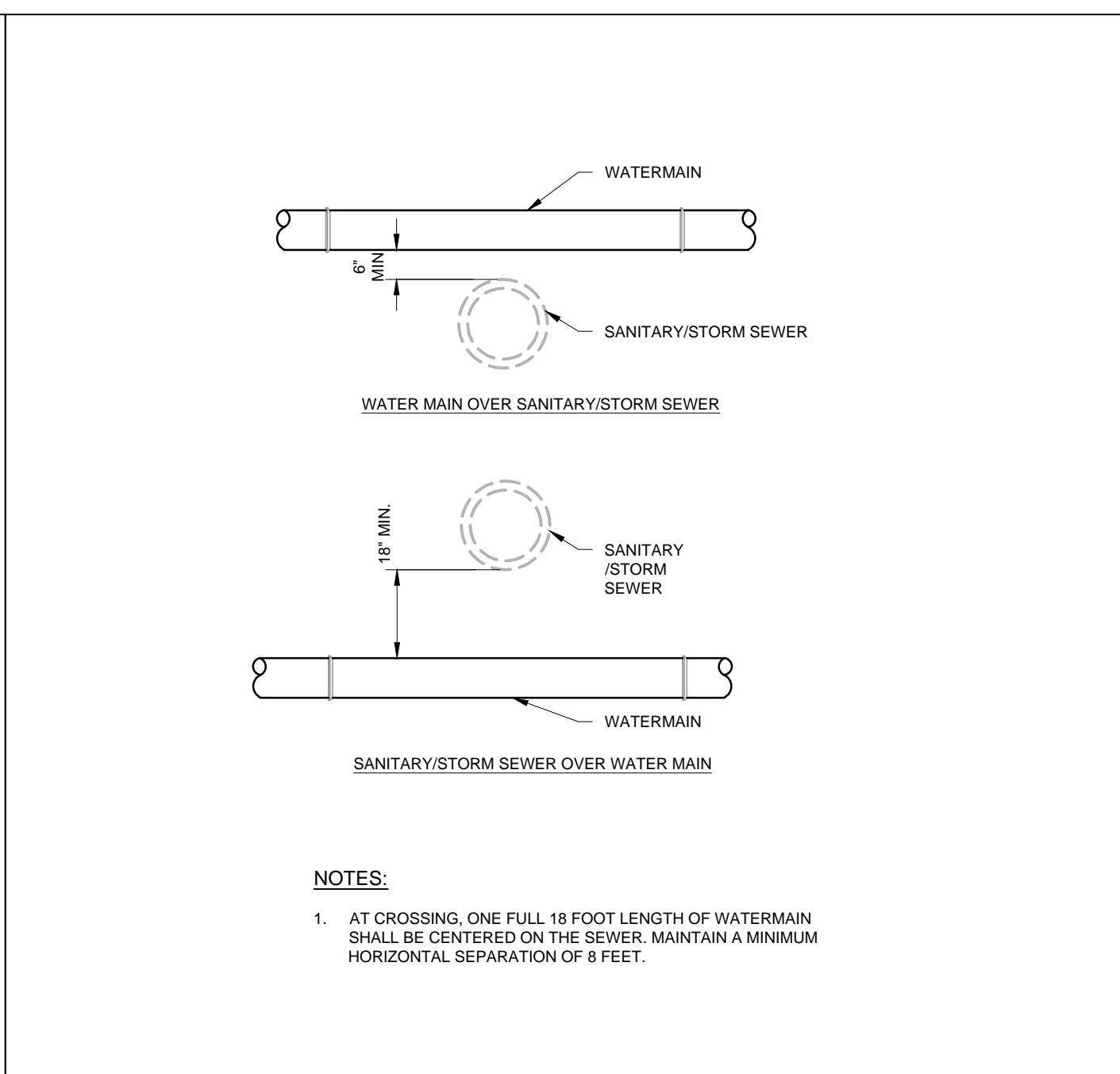
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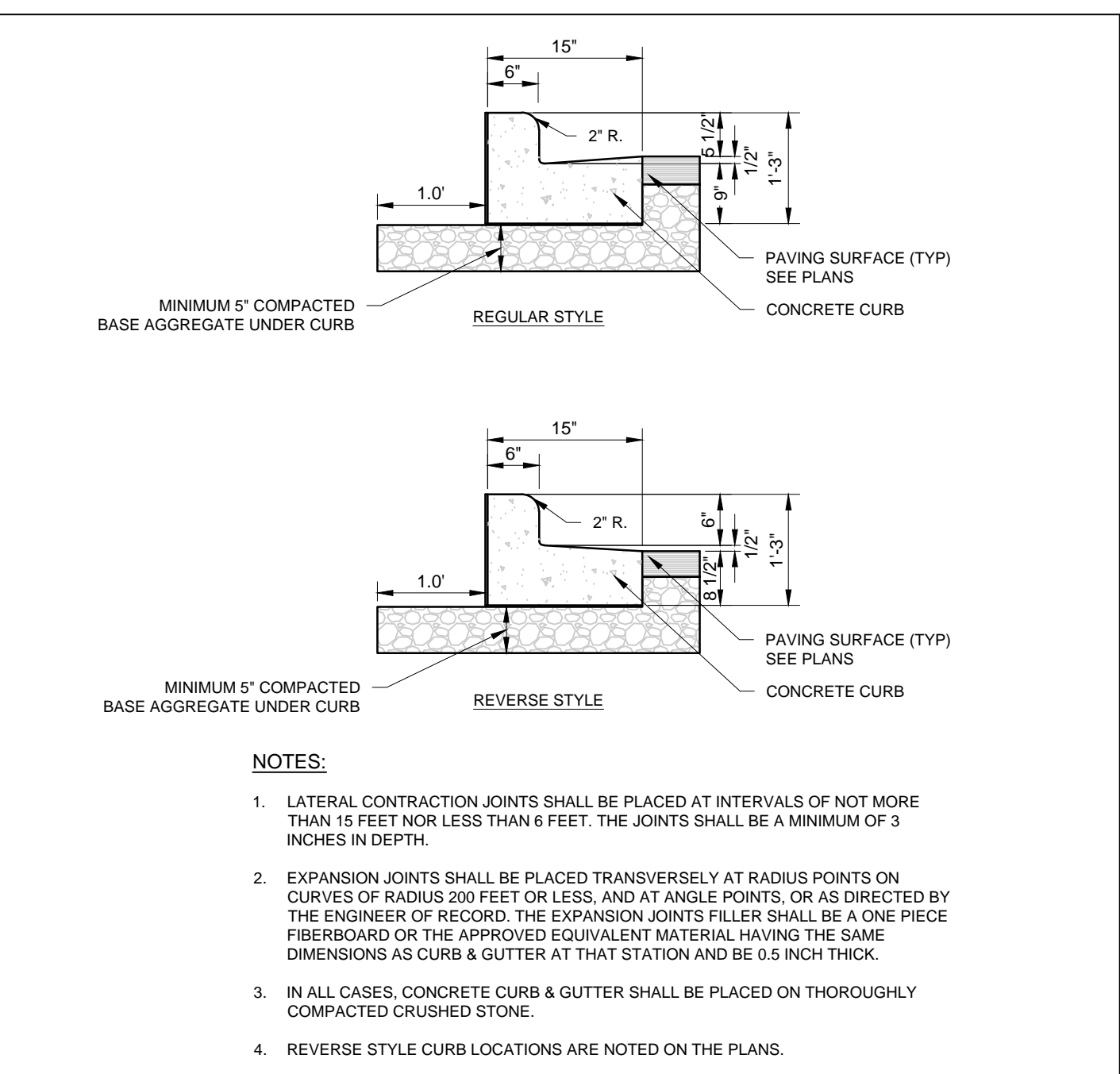
NOTES:
1. USE WHERE HYDRANT IS LOCATED WITHIN PAVED AREAS, COST INCIDENTAL.

HYDRANT BOLLARD



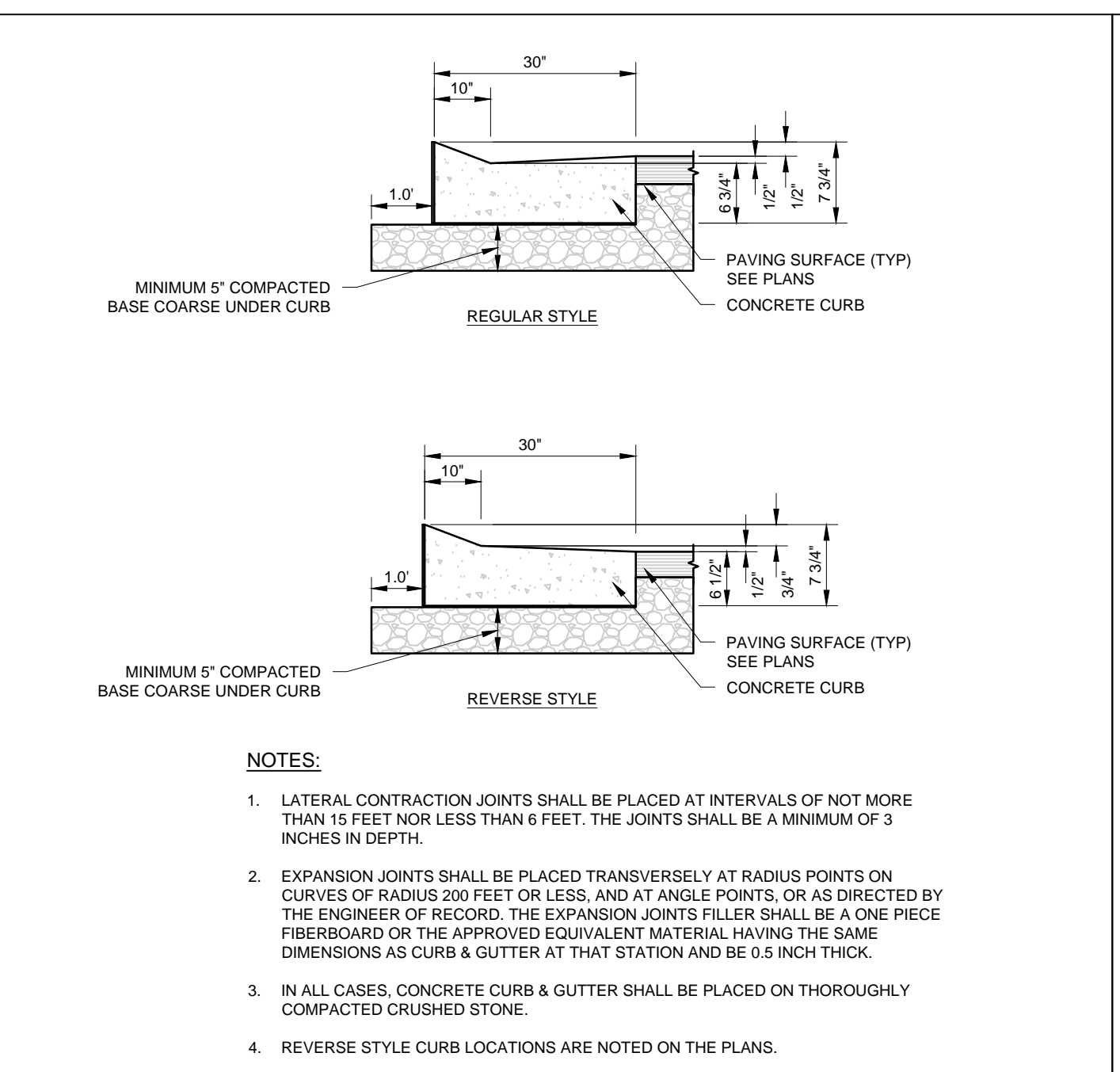
NOTES:
1. AT CROSSING, ONE FULL 18 FOOT LENGTH OF WATER MAIN SHALL BE CENTERED ON THE SEWER. MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 9 FEET.

WATER MAIN SEPARATION



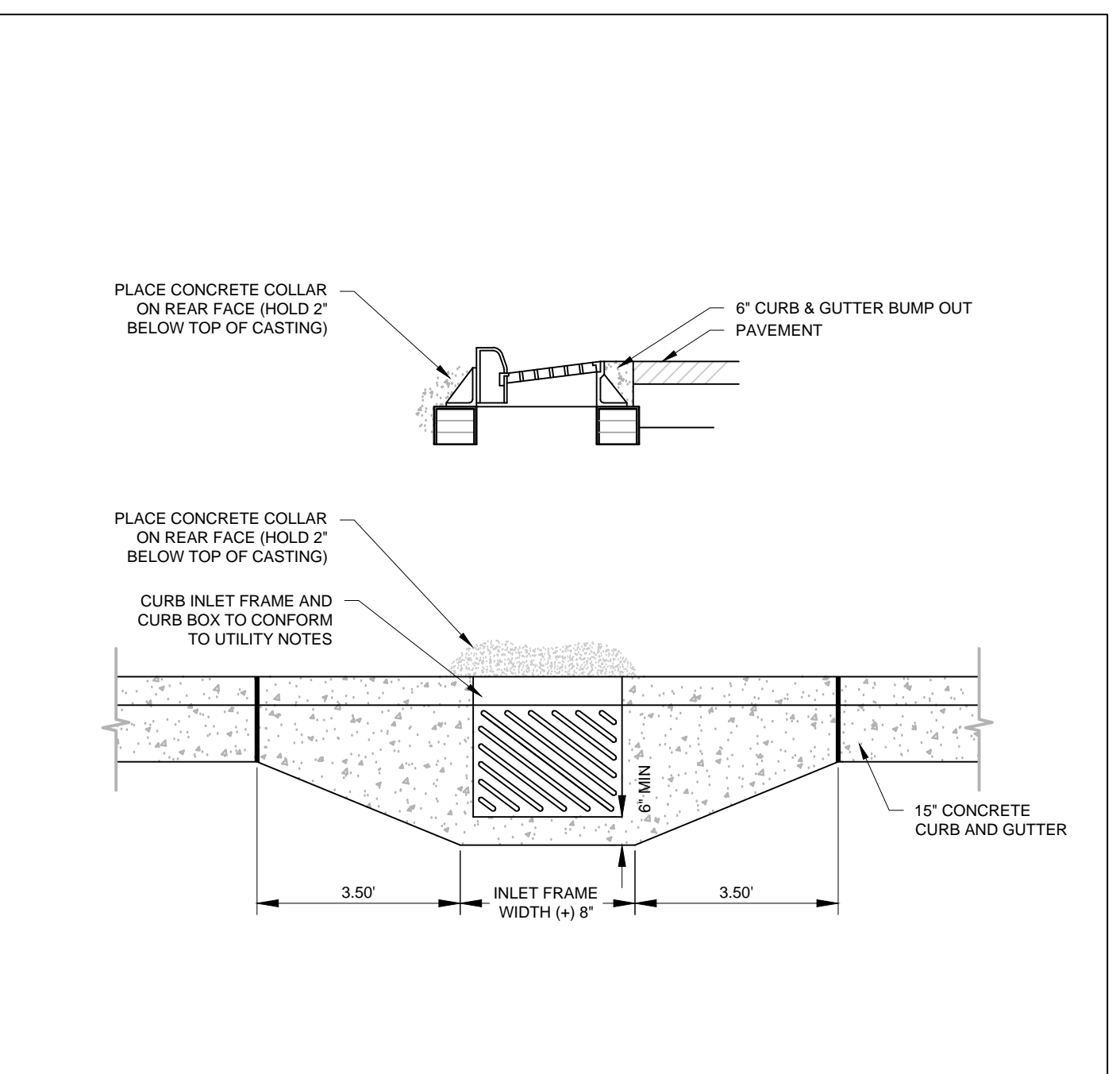
NOTES:
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2 INCH THICK.
3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

15" VERTICAL FACE CURB

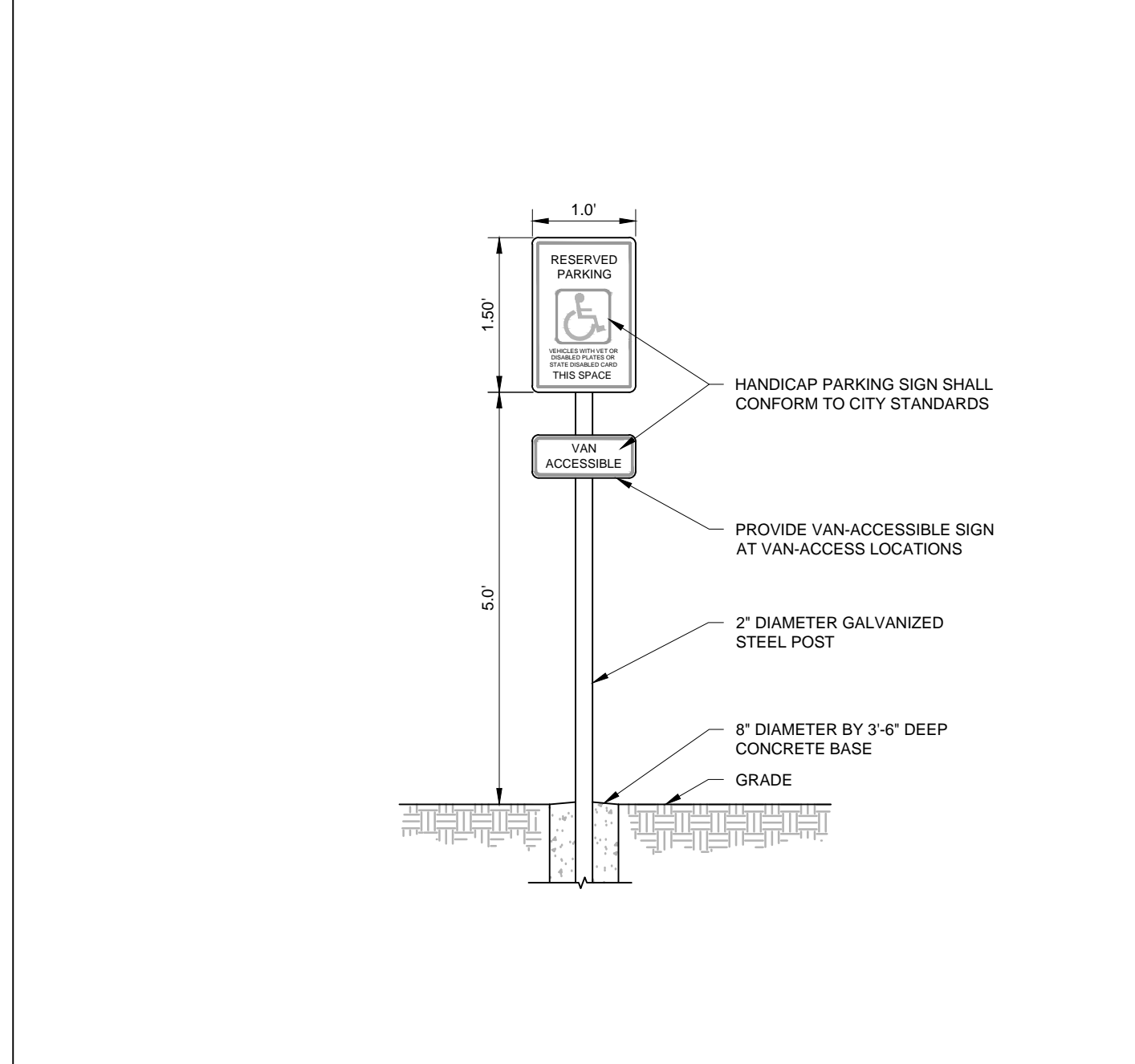


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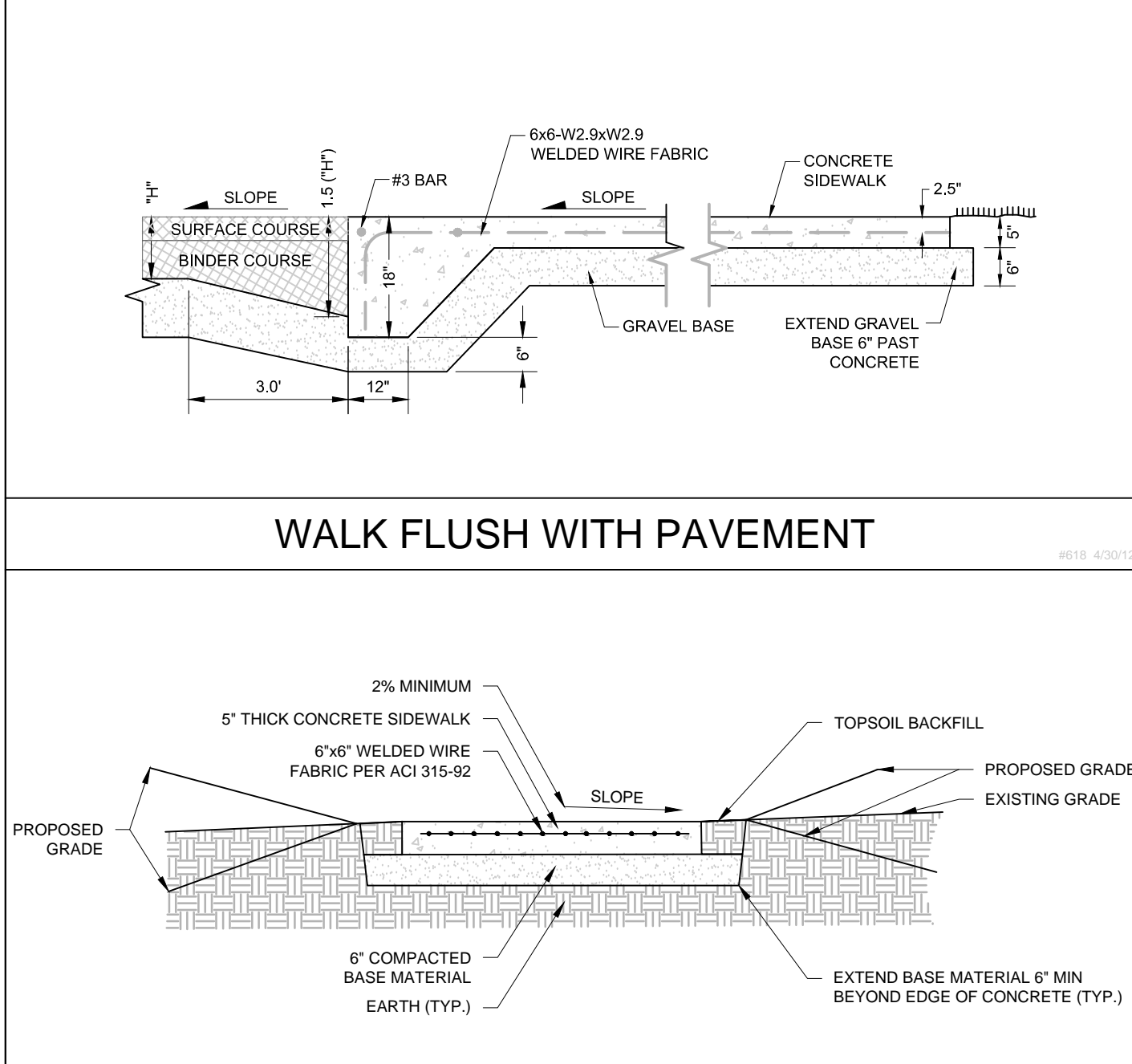
30" CURB AND GUTTER



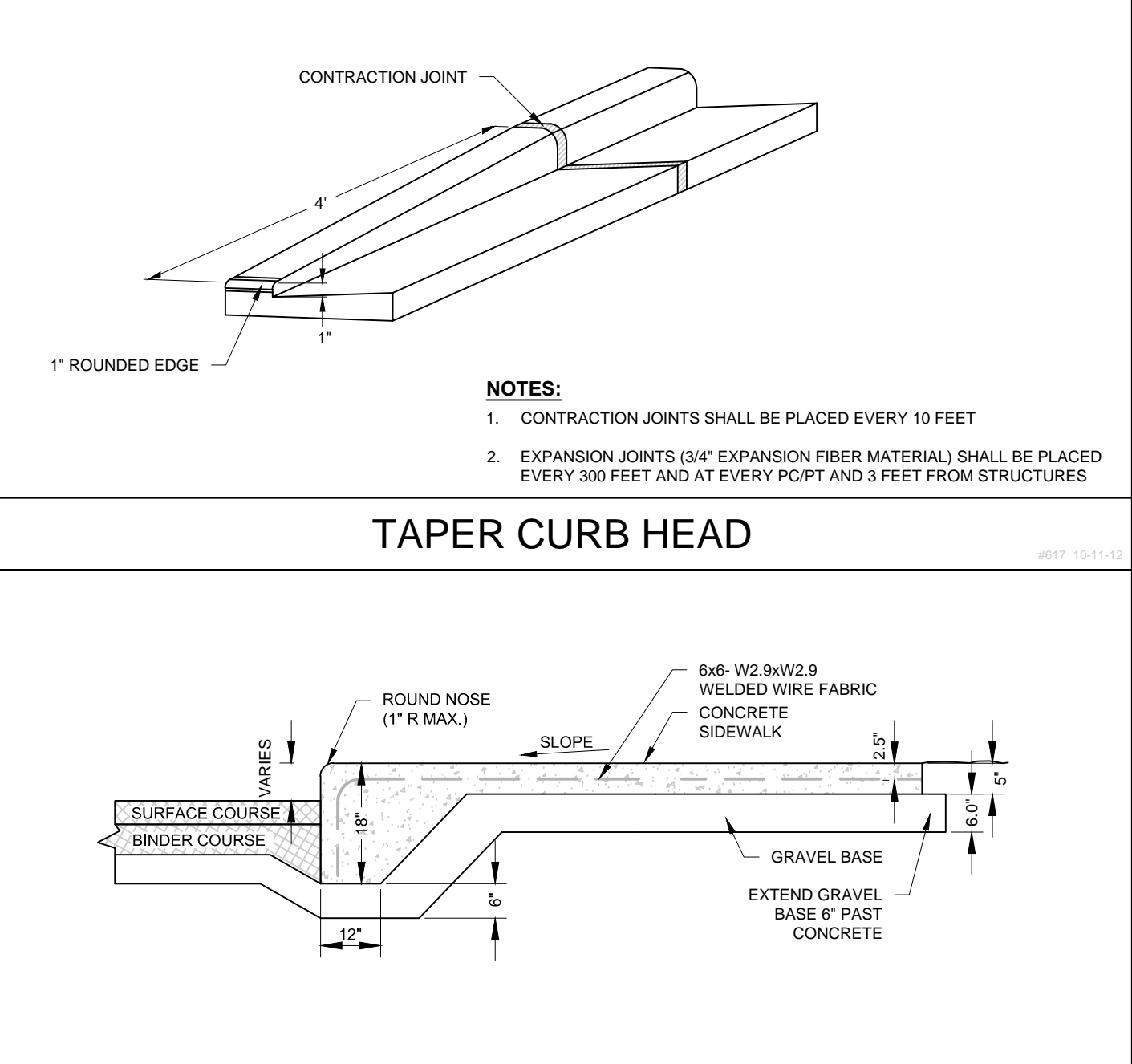
CURB AND GUTTER BUMP OUT



ADA SIGN



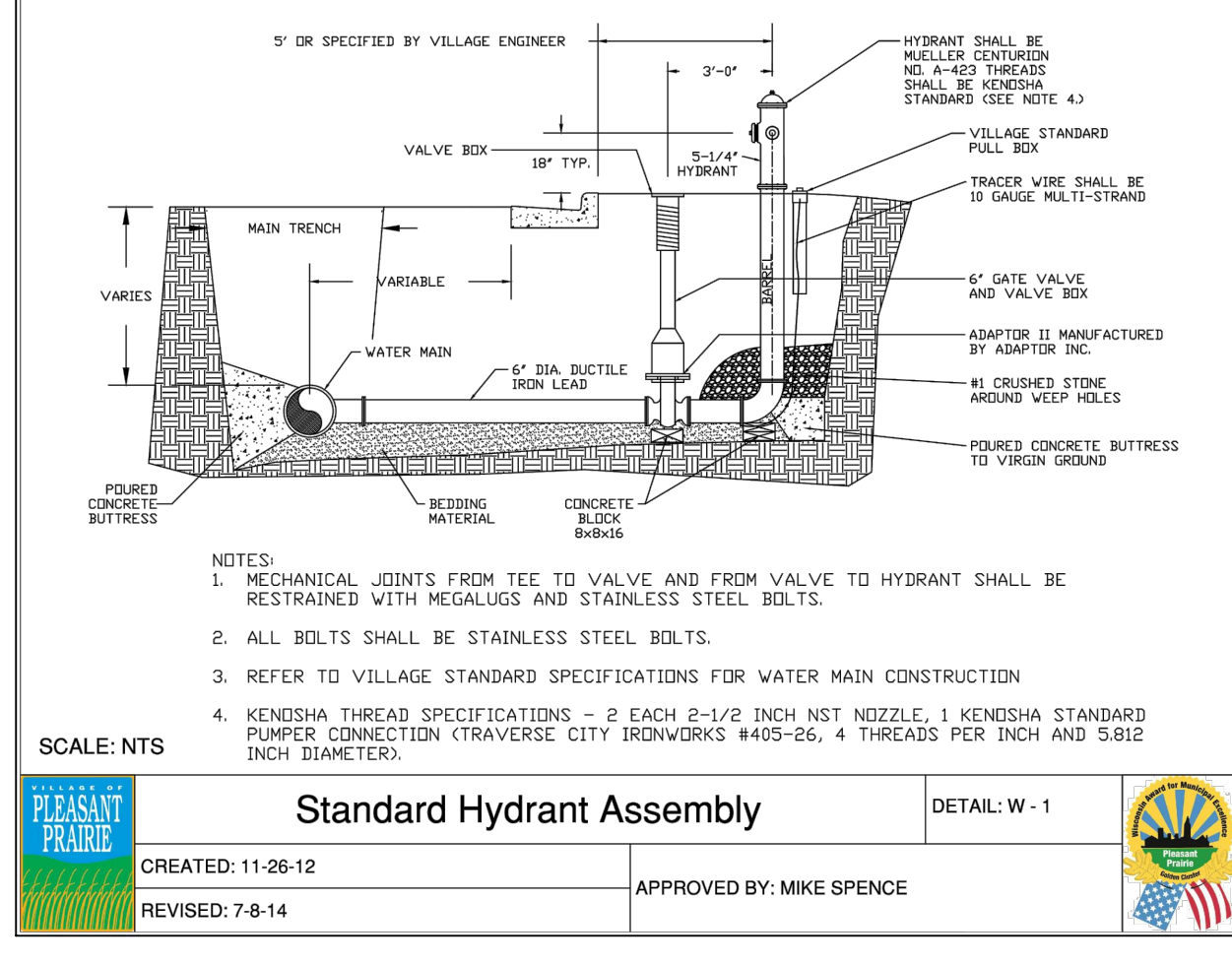
WALK FLUSH WITH PAVEMENT



TAPER CURB HEAD

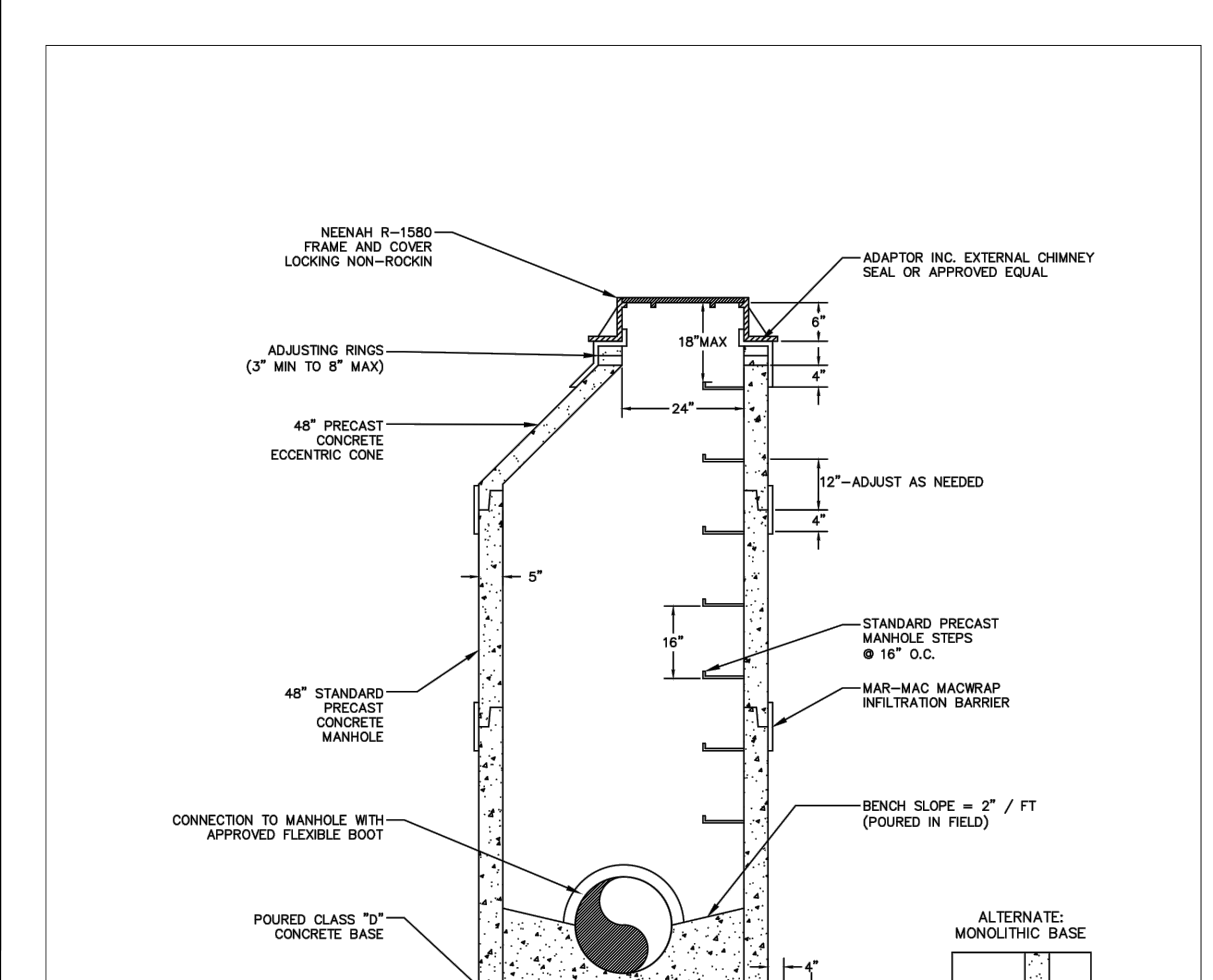
CONCRETE SIDEWALK

18" INTEGRAL CURB AND SIDEWALK



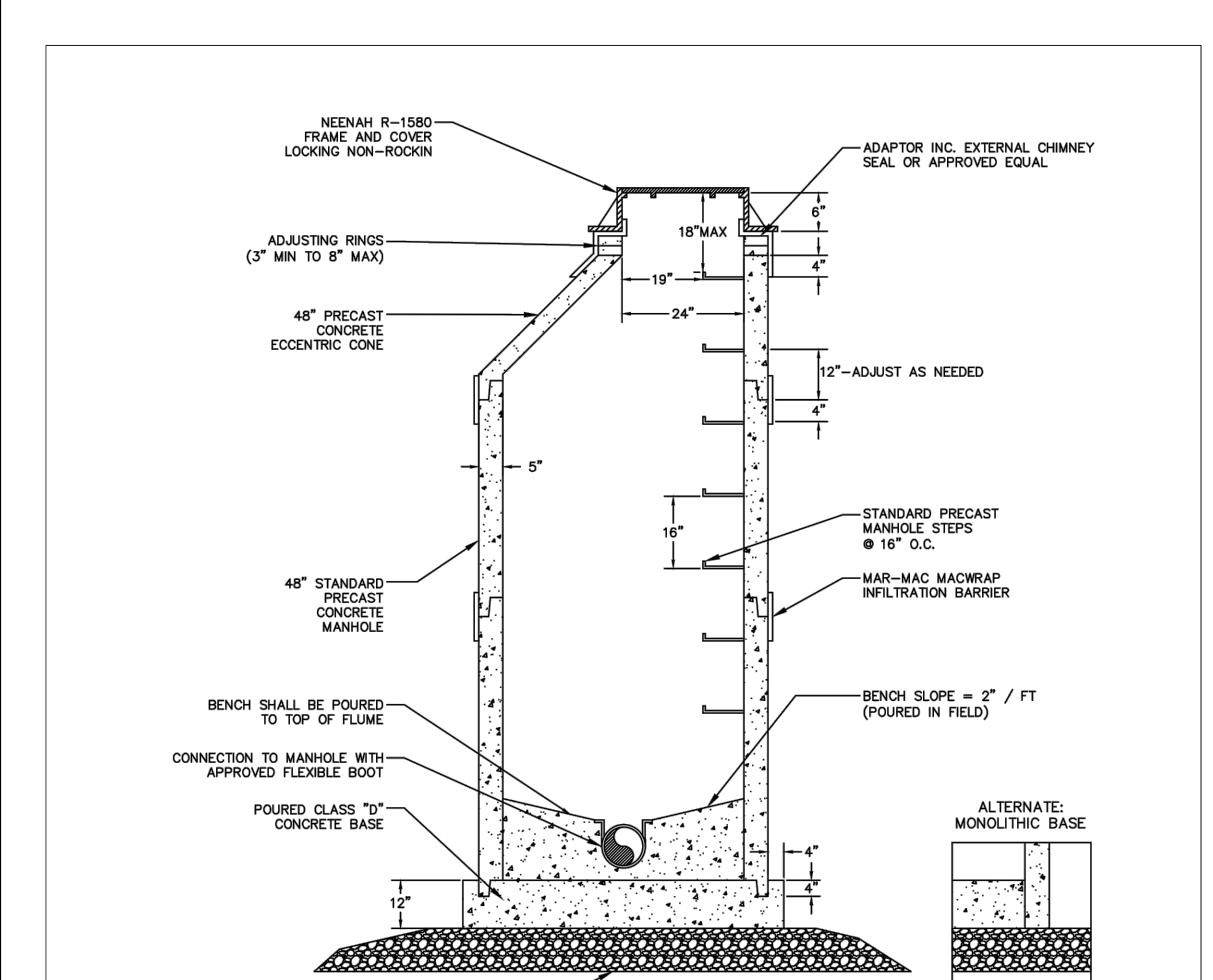
Standard Hydrant Assembly

CREATED: 11-26-12
REVISED: 7-8-14
APPROVED BY: MIKE SPENCE



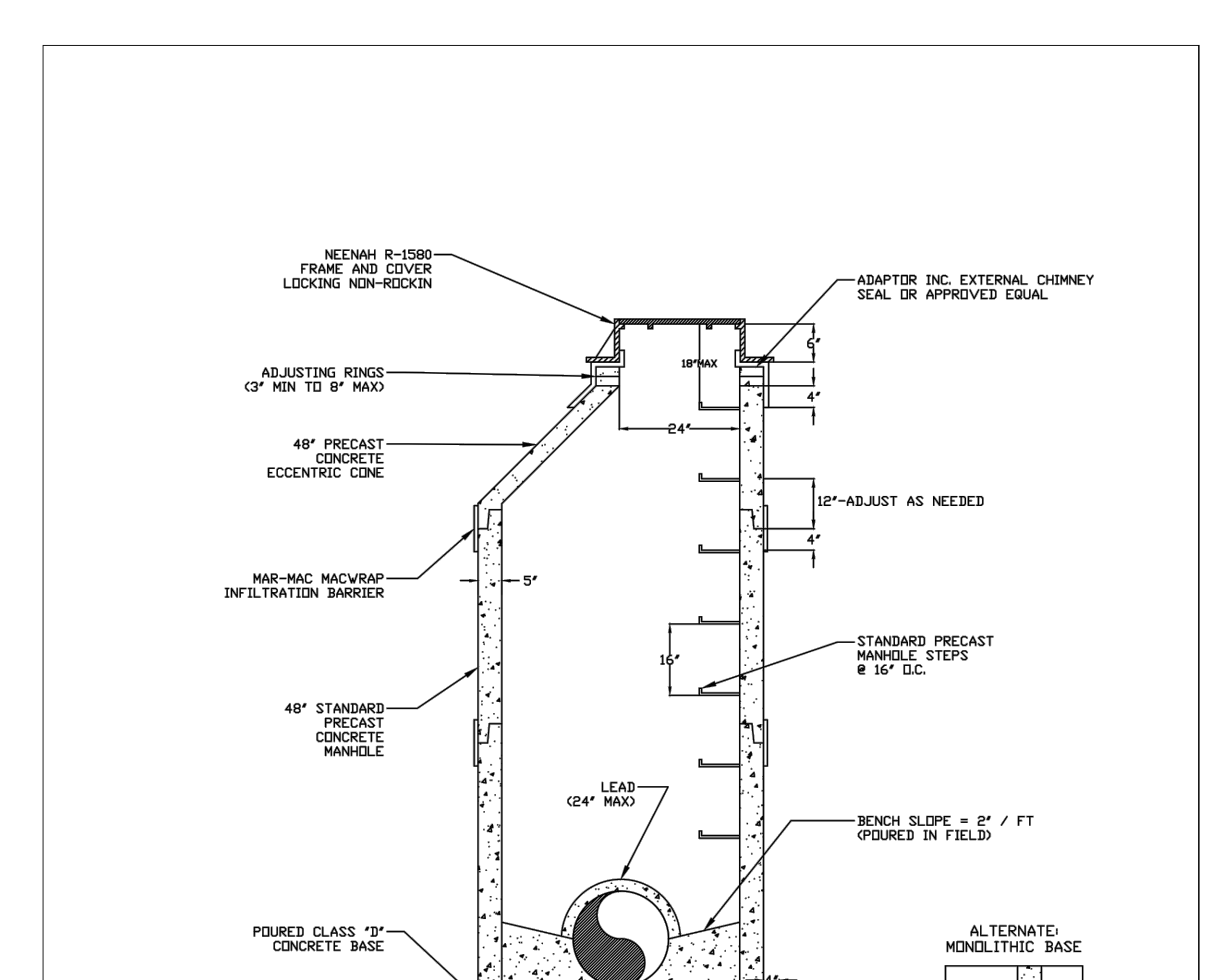
Standard Sanitary Manhole

CREATED: 11-21-12
REVISED: 1-29-14
APPROVED BY: MIKE SPENCE



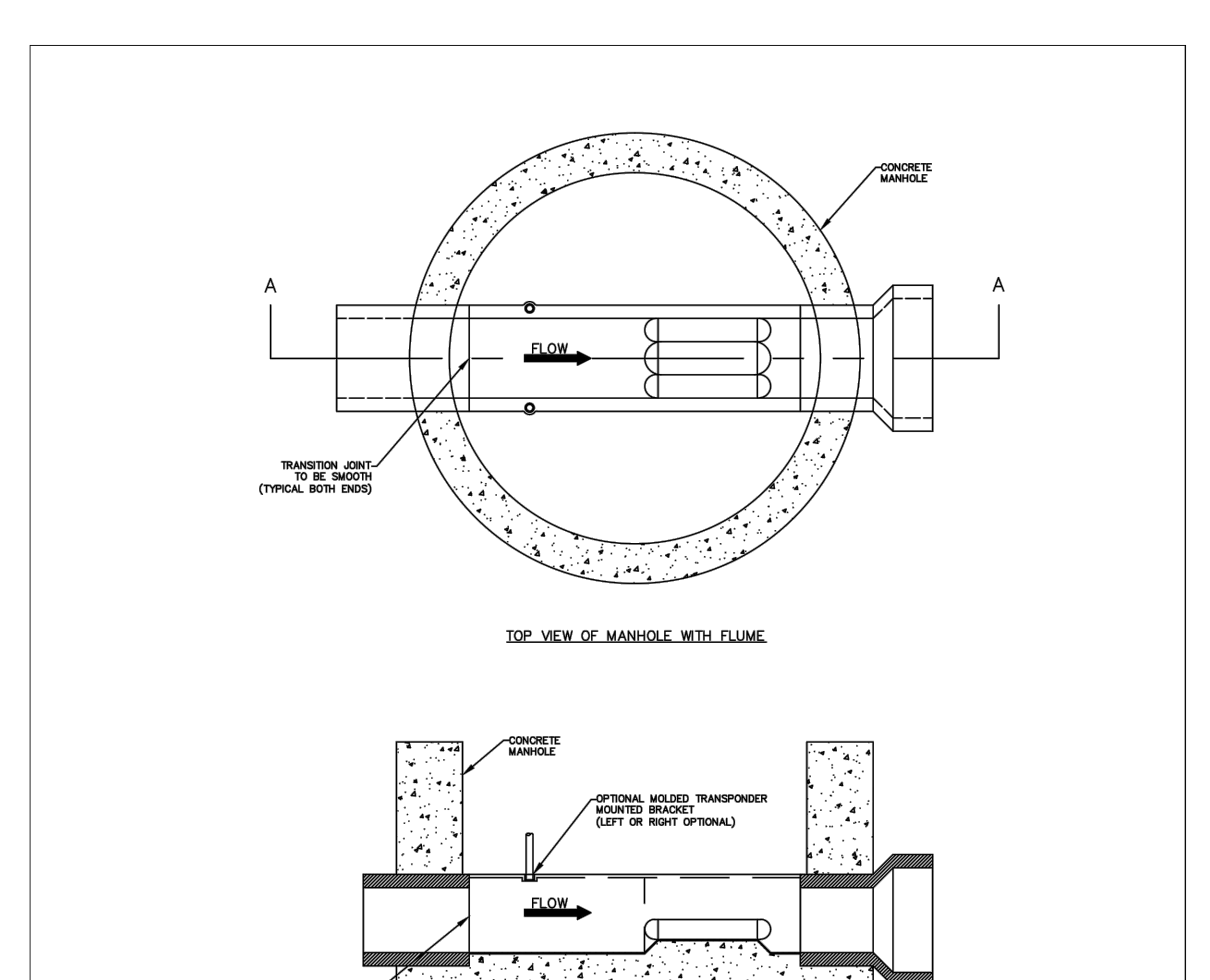
Standard Sampling Manhole

CREATED: 11-21-12
REVISED: 1-29-14
APPROVED BY: MIKE SPENCE



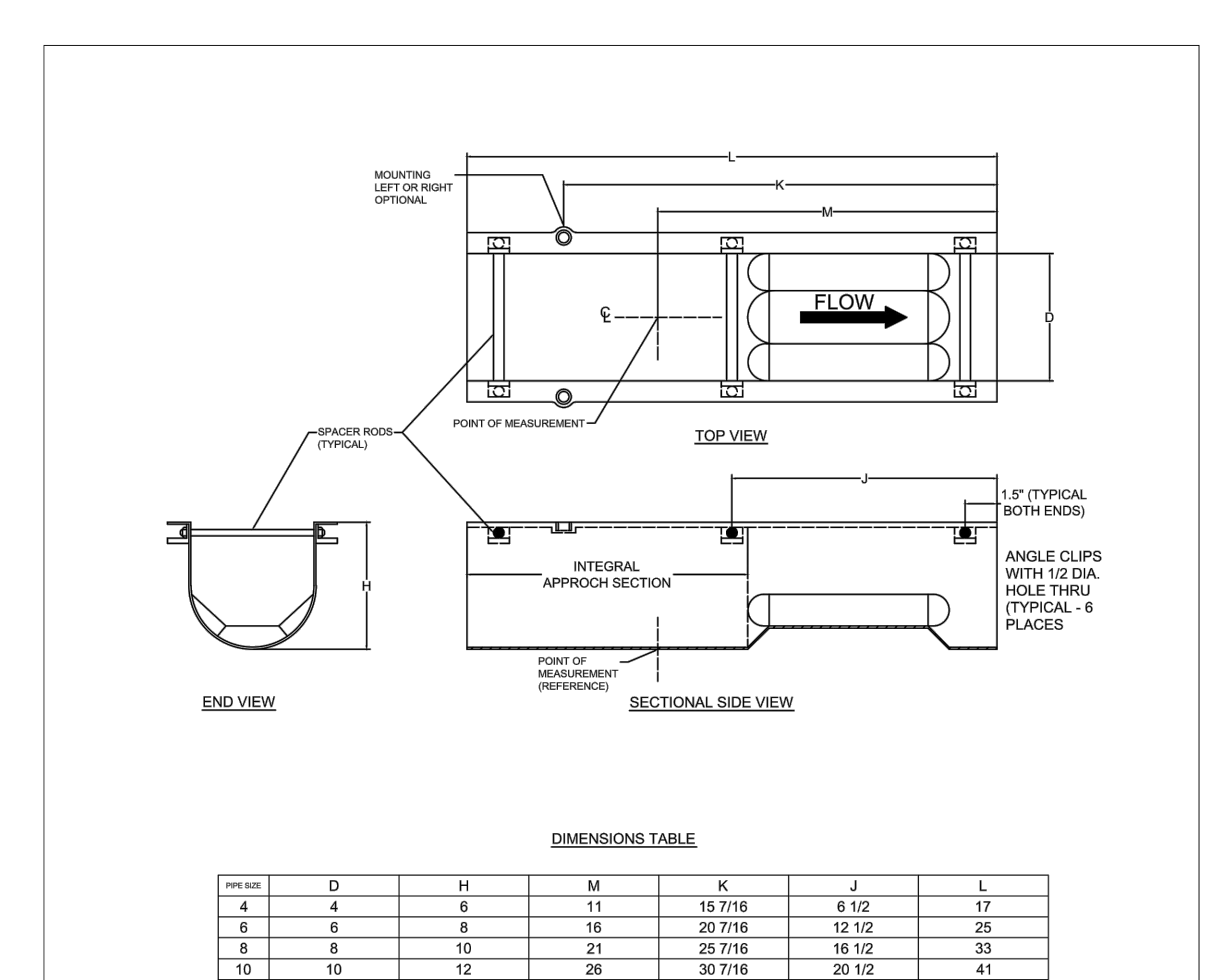
Standard Storm Manhole

CREATED: 11-21-12
REVISED: 4-4-14
APPROVED BY: MIKE SPENCE



Palmer-Bowlus Flume Detail (1 of 2)

CREATED: 11-21-12
REVISED: 1-6-14
APPROVED BY: MIKE SPENCE



Palmer-Bowlus Flume Detail (2 of 2)

CREATED: 11-21-12
REVISED: 2-19-14
APPROVED BY: MIKE SPENCE

FLUME	D	H	M	K	J	L
4	4	6	11	10 7/16	6 1/2	17
6	6	8	16	20 7/16	10 1/2	26
8	8	10	21	29 7/16	14 1/2	35
10	10	12	26	38 7/16	18 1/2	44
12	12	14	31	47 7/16	22 1/2	53
14	14	16	36	56 7/16	26 1/2	62
16	16	18	41	65 7/16	30 1/2	71
18	18	20	46	74 7/16	34 1/2	80
20	20	22	51	83 7/16	38 1/2	89
22	22	24	56	92 7/16	42 1/2	98
24	24	26	61	101 7/16	46 1/2	107
26	26	28	66	110 7/16	50 1/2	116
28	28	30	71	119 7/16	54 1/2	125

NOTES:
1. DIMENSIONS ARE IN INCHES, UNLESS OTHERWISE SPECIFIED.
2. DIMENSIONS PROVIDED FOR REFERENCE ONLY.

FOR REVIEW

DESIGNED: MAC
BRACKETED: BRP
REVIEWED: ABA
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1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION. REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND DUST; REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 7 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
- INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING MASS TOPSOIL. STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PROTECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

- PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN
- TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
- HYDRO-MULCHING WITH A TACKIFIER
- GEOTEXTILE EROSION MATTING
- SODDING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STONE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS.

SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERM/SWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

DIVERSION BERM/SWALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER CONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.

SEDIMENT TRAP/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/SWALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

OUTLET SCOUR PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, PLUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN TO PREVENT BLOWING DEBRIS.

DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING/EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL, MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK (STRAW BALES) - RE-SECURE STAKES, ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER, AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

DIVERSION BERM/SWALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

SEDIMENT TRAP - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.

INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.

OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.

SEDIMENT BASIN - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

- THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ON-SITE.
 - IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS.
 - PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
 - IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
 - NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION DISCHARGE ELIMINATION SYSTEM (CDSES) PERMIT NO. WI-5067931-4) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE NPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ON-SITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ON-SITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS APPROPRIATE.
	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON-VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
	STORM SEWER	CONVEYS SEDIMENT LOADED WATER TO A SEDIMENT BASIN.
ENCLOSED DRAINAGE	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
OUTLETS		
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SLTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRADE STRUCTURES TO COLLECT SEDIMENT.
	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND DUST CONTROL	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING			*	*	*	*	*	*	*	*	*	*
DORMANT SEEDING												
TEMPORARY SEEDING			*	*	*	*	*	*	*	*	*	*
SODDING			*	*	*	*	*	*	*	*	*	*

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 150 LBS/ACRE.
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E. SOIL.
- F. STRAW MULCH 2 TONS/ACRE.

* IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

REVISIONS

NO.	DESCRIPTION	DATE

REG. JOB NO. 119.00A
REG. NO. ABA
START DATE: 12/20/24
SCALE: _____

SHEET
C-13
of
C-14
CONSTRUCTION DETAILS

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
18850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI

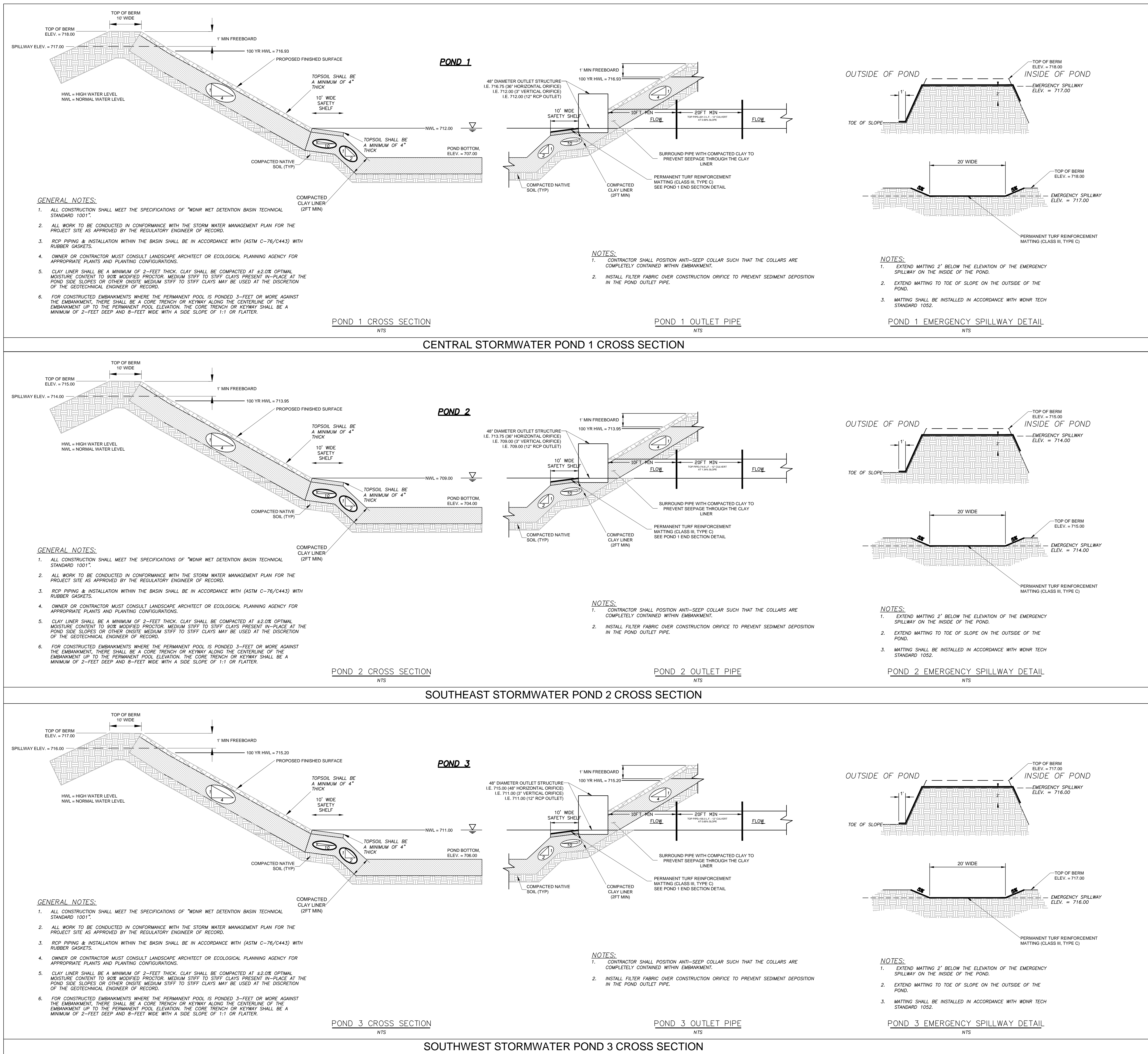
CONSTRUCTION DETAILS

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CONSTRUCTION DETAILS

DESIGNED: BIP
 CHECKED: MAC
 REVIEWED: ARA
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ABBREVIATIONS

A air condition AC Architect/Engineer ACT ceiling tile	C catch basin CB contractor installed CFCI contractor furnished, contractor installed CFCI contractor furnished, owner installed CFM contractor furnished, vendor installed CG corner guard CHBD chalkboard CIP cast-in-place CJ control joint CL construction joint CL centerline CLO ceiling CLR chair CM construction management CMU concrete masonry unit CO cleanout COL column CONC concrete COND condor CONT continuous CPT carpet CSWA casework CT ceramic tile CTS concrete tile base D DEM demolition DEPT department DF drinking fountain DFS door and frame schedule DIA diameter DR door DR FR door frame DTL detail DS downspout DW dishwasher DWG drawing	E east EIFS exterior insulation & finish system EL elevation EJ expansion joint ELEC electric, electrical ELEV elevator EPS expanded polystyrene board EQ equal EXIST existing EXP expand, expansion EXT exterior F F female F filler FA fire alarm FA fluid applied FAB fabric FAX facsimile FC file cabinet FD floor drain FEC fire extinguisher cabinet FH fire hose cabinet FG foot grille FLR floor FM factory mutual FM floor mat FO finished opening FP fire protection FP fireproof FR fireplace FT feet, foot FTG footing G G gage GALV galvanized GB grab bar GC general contractor GL glass GLT glass tile GLU LAM glued laminated wood GR grade, grading GT grout GYP BD gypsum board	H HB hose bibb HC hollow core HCP handscapped HM hollow metal HORI horizontal HSKP housekeeping HGT height HWAC heating, ventilating & air conditioning HW hot water HWY highway I ID inside diameter INSUL insulation INT interior J JT janitor sink L LAM laminate LAV lavatory LL live load M MA maximum MC modular carpet tile MECH mechanical MFR manufacturer MIN minimum MN minute MSC miscellaneous MO masonry opening MS mop sink MTL metal N N north NIC not applicable NA not applicable NO number NS nominal NS no scale NTS not to scale	O OC on center OD outside diameter OF/CI owner furnished, contractor installed OF/CI owner furnished, owner installed OF/CI owner furnished, vendor installed OH DR overhead (colored) door OPV opposite hand OPNG opening P PLYWOOD plywood PNL prefinished PREFA prefabricated PREFR prefabricated PSI pounds per square inch PT paint, painted PTN partition Q QY quarry tile QTS quarry tile base R RB resilient base RCP reflected ceiling plan RD roof drain REBAR reinforcing steel bars RF resilient flooring RFS room finish schedule RO rough opening RS resinous flooring RSS resinous flooring base S S south SAN sanitary SC sealed concrete SC solid core SF square foot SIL similar SS solid surface SST stainless steel ST stain ST stair STN stone STNS stone base STRUCT structure	T T&M time & materials TEMP temperature TER terrazzo TERB terrazzo base TF top of finish floor TKBD taskboard TO top of TOB top of beam TOC top of concrete TOU top of joist TOPO topography TOS top of slab TOS top of steel TV television TYP typical U UNO unless noted UNO otherwise UNO noted V VF/CI vendor furnished, contractor installed VF/CI vendor furnished, owner installed VF/CI vendor furnished, owner installed VNR vendor installed VIF verify in field W W west W with WO without WC water closet WC wall covering WD wood WB wood base WBV wood veneer WH water heater WP wall protection WP workpoint X XPS extruded polystyrene board (insulated)
--	--	--	---	---	--

PROJECT TEAM

OWNER ULINE

12575 ULINE DR.
PLEASANT PRAIRIE, WI

PROJECT CONTACT:
DIRECT PHONE:

Brad Folkert
(262) 612-4200

ARCHITECTURAL EPPSTEIN UHEN ARCHITECTS, INC.

333 EAST CHICAGO STREET
MILWAUKEE, WI 53202
(414) 271-5350
www.eppsteinuhen.com

PROJECT CONTACT:
DIRECT PHONE:
EMAIL ADDRESS:
FAX NUMBER:

Peter Kucha, AIA
(414) 291-8190
peterk@eua.com
Contact Fax (414) 271-7794

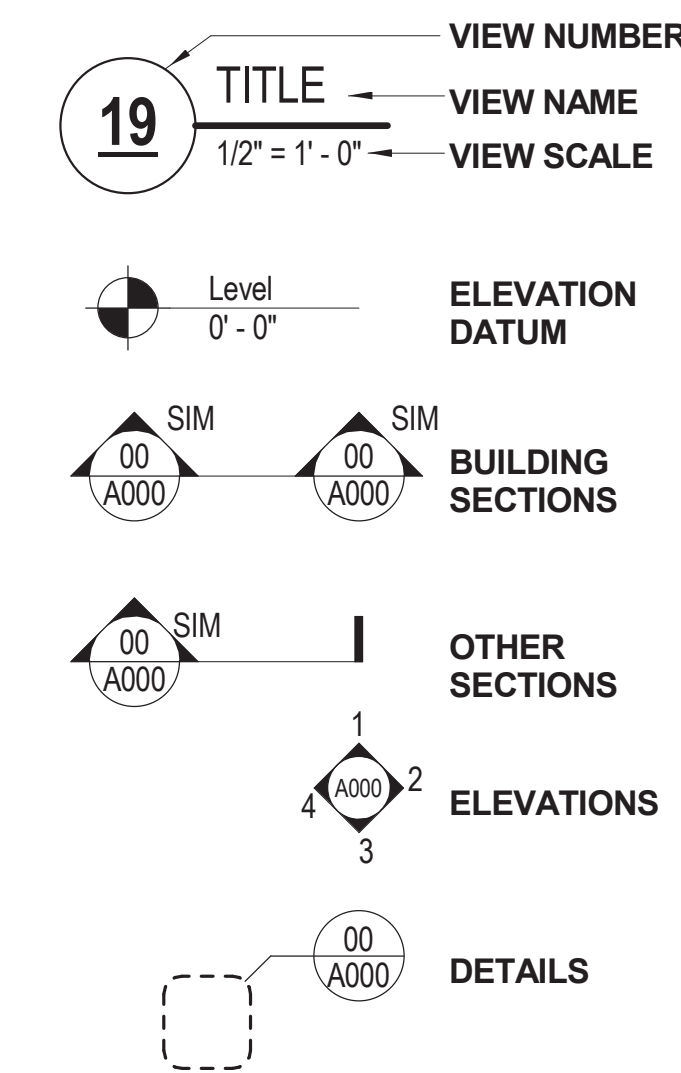
SHEET INDEX

PRESENTATION
EXHIBIT 1 EXTERIOR ELEVATIONS
EXHIBIT 2 EAST PERSPECTIVE
EXHIBIT 3 WEST PERSPECTIVE

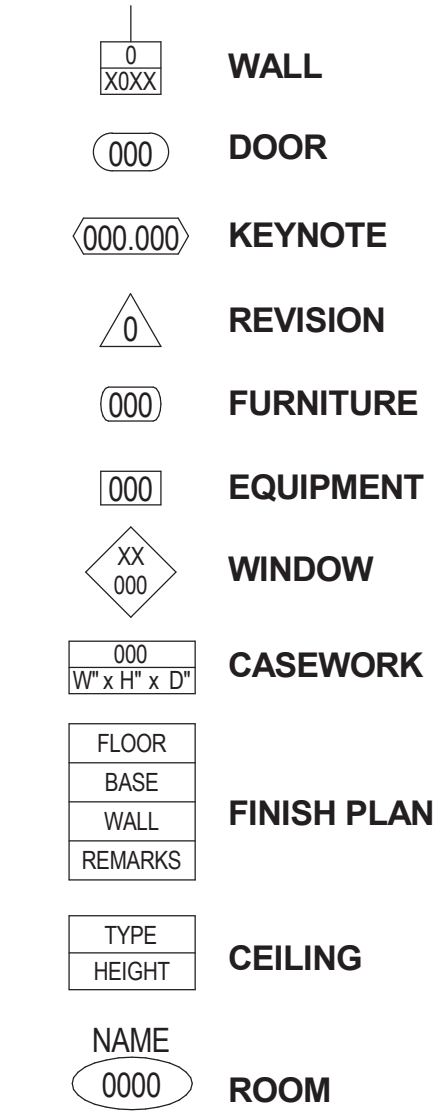
ARCHITECTURAL
A100 OVERALL LOWER LEVEL PLAN
A101 OVERALL FIRST FLOOR PLAN
A102 OVERALL SECOND FLOOR PLAN
A103 OVERALL THIRD FLOOR PLAN

SYMBOL LEGEND

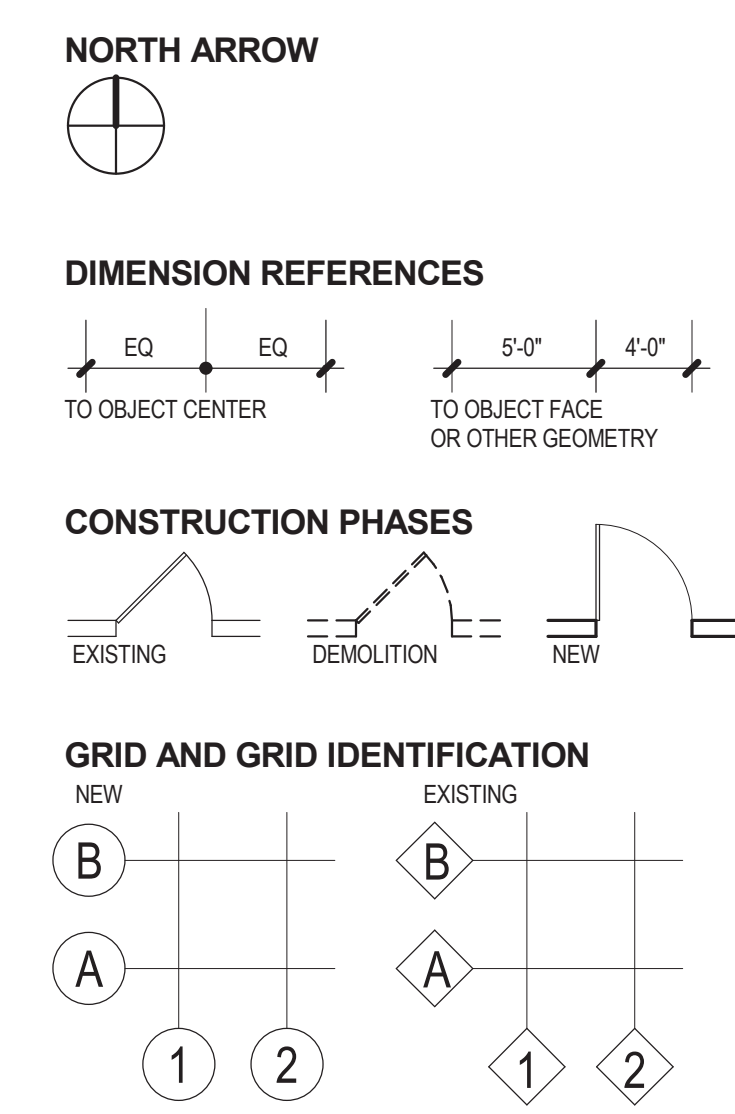
CALLOUTS



TAGS



GRAPHICS



PRELIMINARY SITE AND OPERATIONAL PLAN



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN

ISSUANCE AND REVISIONS

PRELIMINARY SITE AND OPERATIONAL PLAN

#	DATE	DESCRIPTION
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PROJECT INFORMATION

ULINE H2 OFFICE BUILDING

120th Avenue
Pleasant Prairie, Wisconsin

SHEET INFORMATION

DATE: 02/06/15 SHEET INDEX

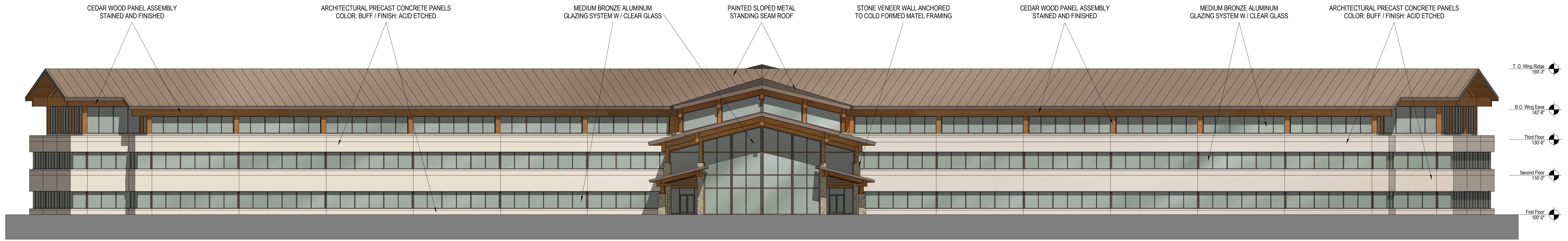
PROJECT NUMBER: 214344-01

PROJECT MANAGER: PK

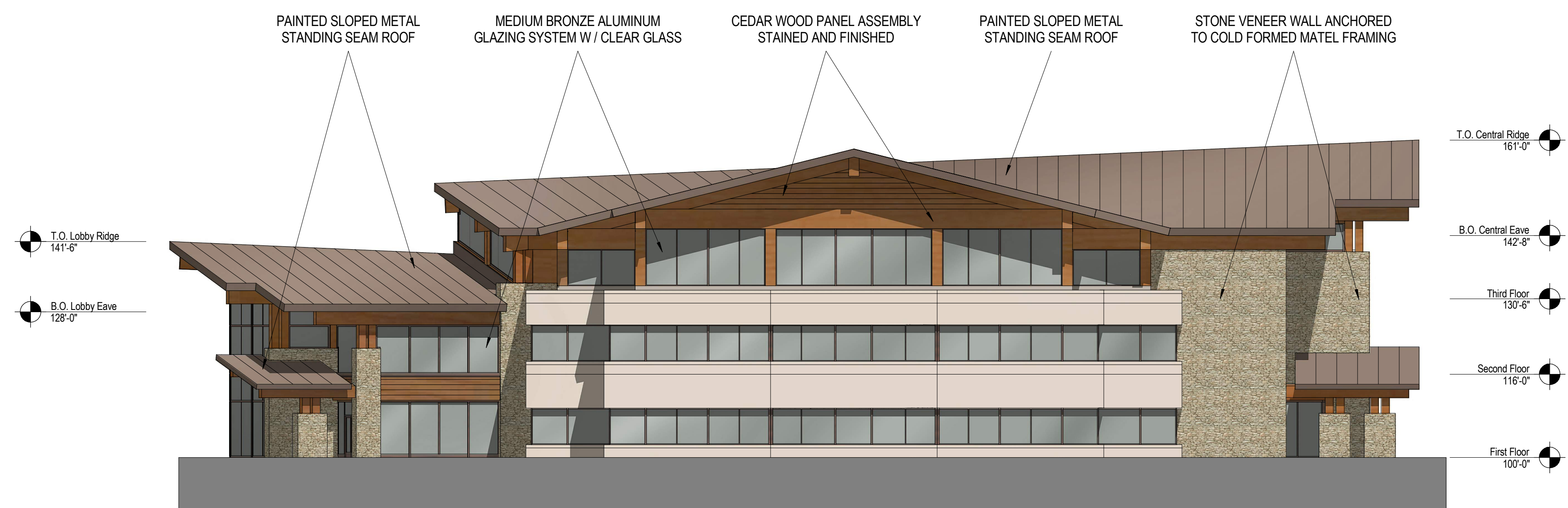


G004

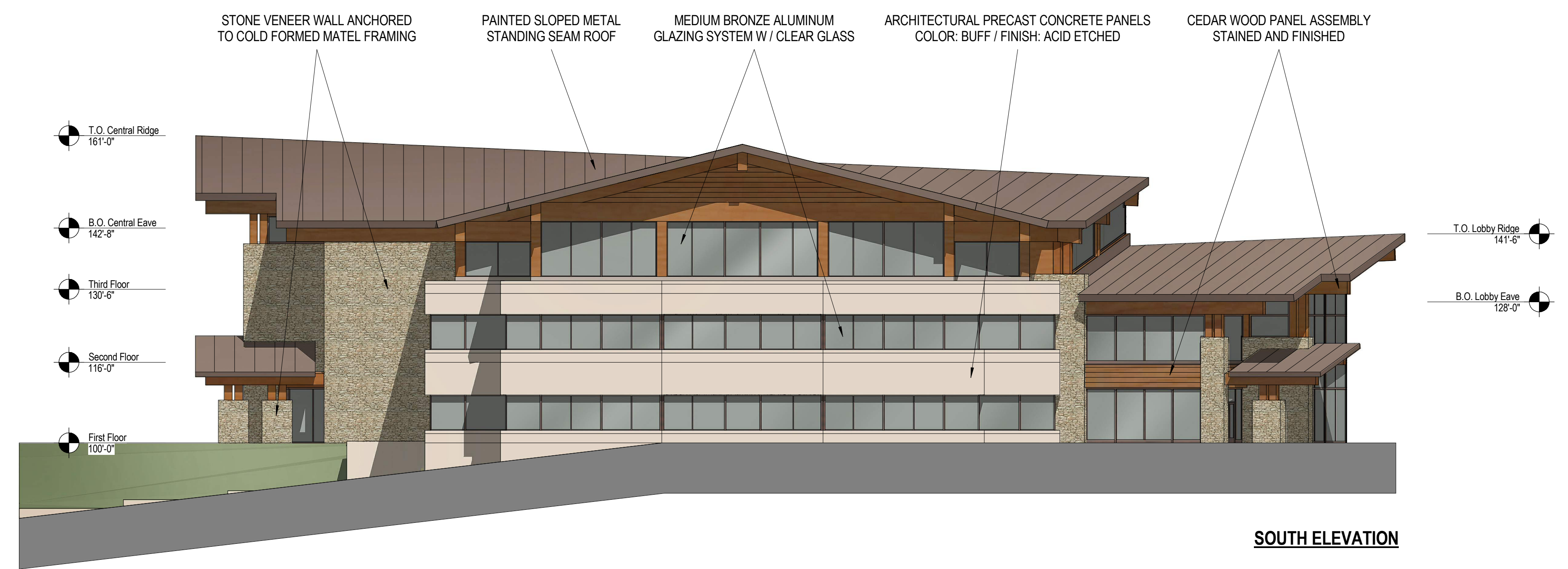
© Eppstein Uhen Architects, Inc.



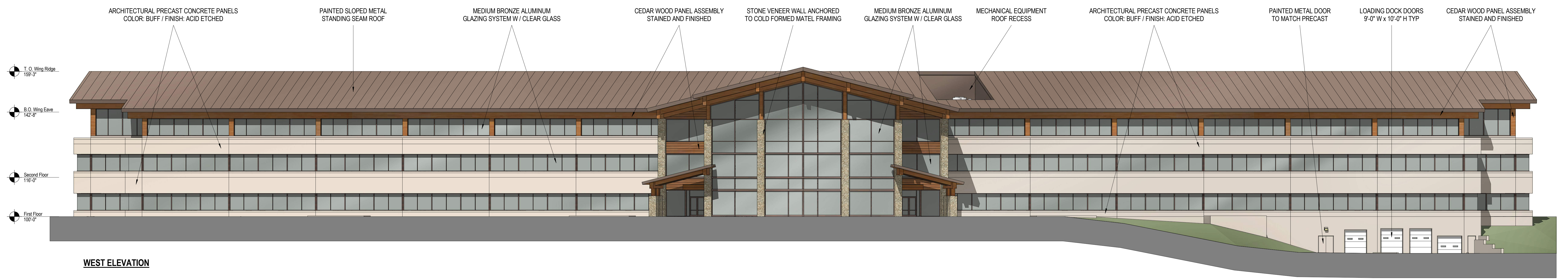
EAST ELEVATION



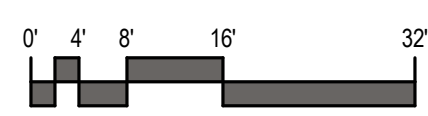
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



ULINE H2 OFFICE BUILDING

EXTERIOR ELEVATIONS

PRELIMINARY SITE
AND OPERATIONAL PLAN



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02/06/15

214344

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ULINE H2 OFFICE BUILDING
EAST PERSPECTIVE

PRELIMINARY SITE
AND OPERATIONAL PLAN



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02/06/15

214344

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ULINE H2 OFFICE BUILDING
WEST PERSPECTIVE

PRELIMINARY SITE
AND OPERATIONAL PLAN

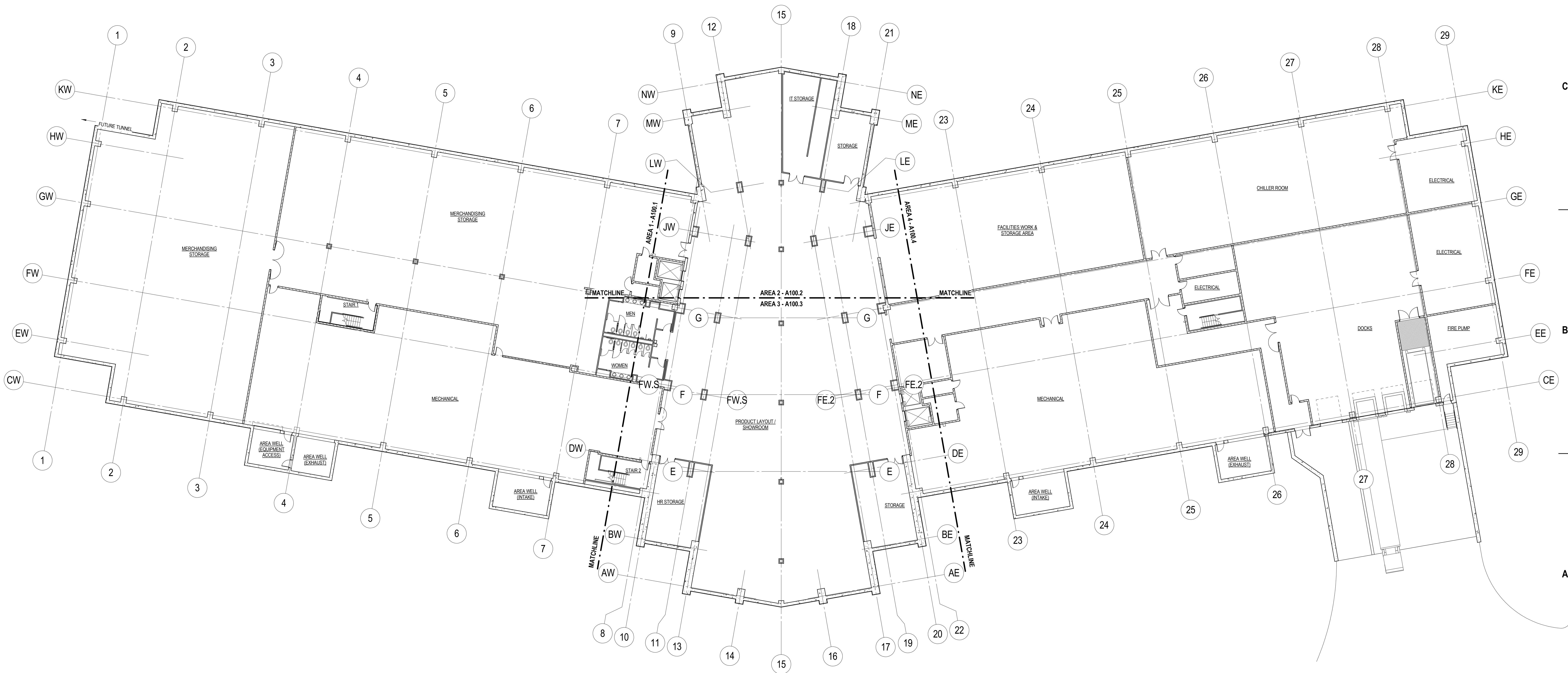


eppstein uhen : architects

02/06/15

214344

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A1 LOWER LEVEL
1/8" = 1'-0"

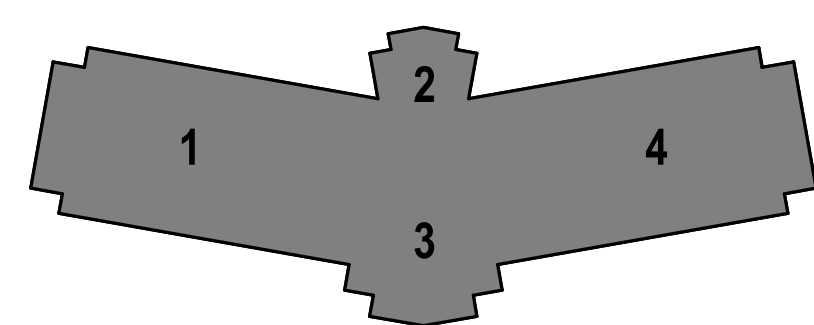


eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN



ISSUANCE AND REVISIONS

PRELIMINARY SITE AND OPERATIONAL PLAN

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE H2 OFFICE BUILDING

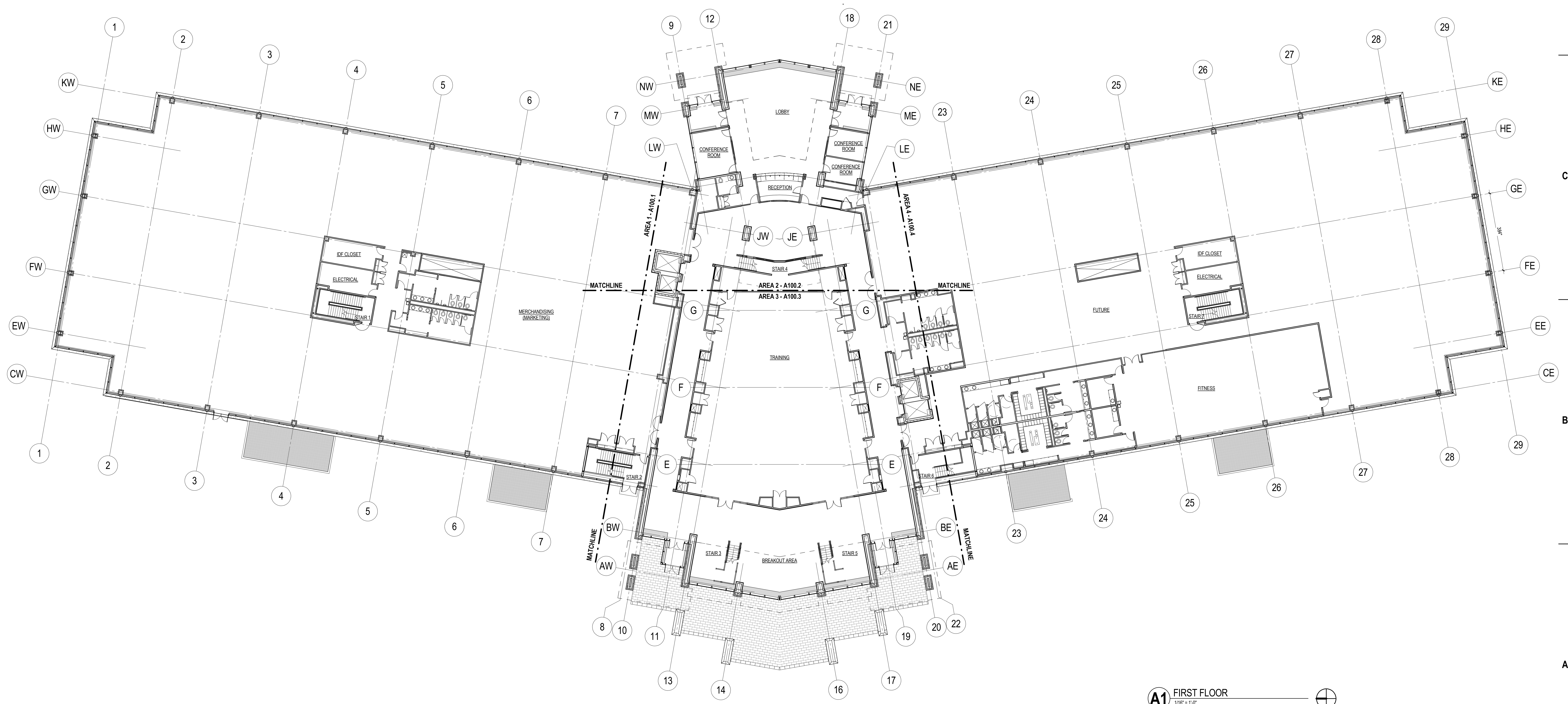
120th Avenue
Pleasant Prairie, Wisconsin



SHEET INFORMATION

DATE:	02/06/15	OVERALL LOWER LEVEL PLAN
PROJECT NUMBER:	214344-01	
PROJECT MANAGER:	PK	

A100



A1 FIRST FLOOR
1/16" = 1'-0"

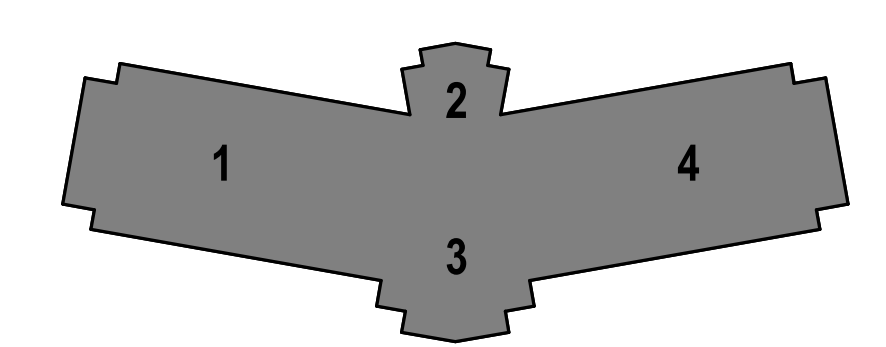


eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

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KEY PLAN



ISSUANCE AND REVISIONS

PRELIMINARY SITE AND OPERATIONAL PLAN

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE H2 OFFICE BUILDING

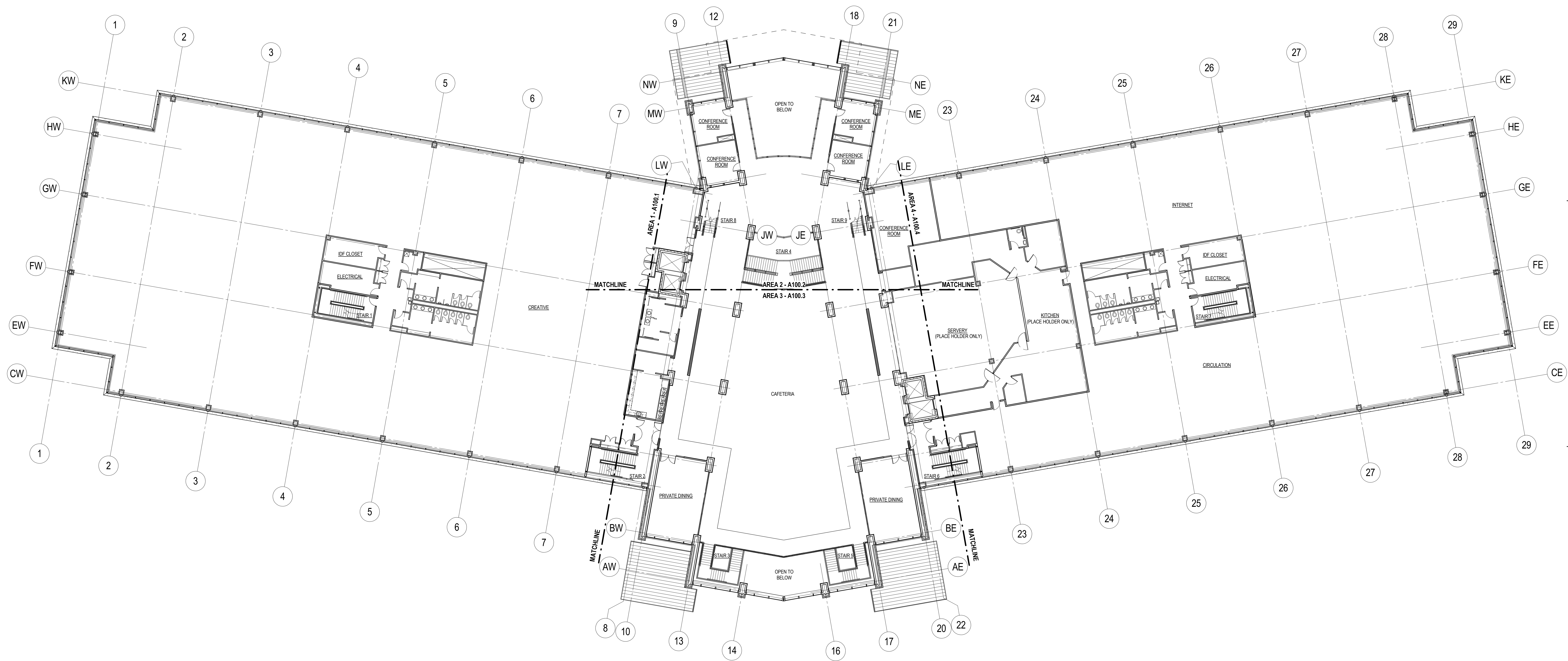
120th Avenue
Pleasant Prairie, Wisconsin



SHEET INFORMATION

DATE: 02/06/15 OVERALL FIRST FLOOR PLAN
PROJECT NUMBER: 214344-01
PROJECT MANAGER: PK

A101
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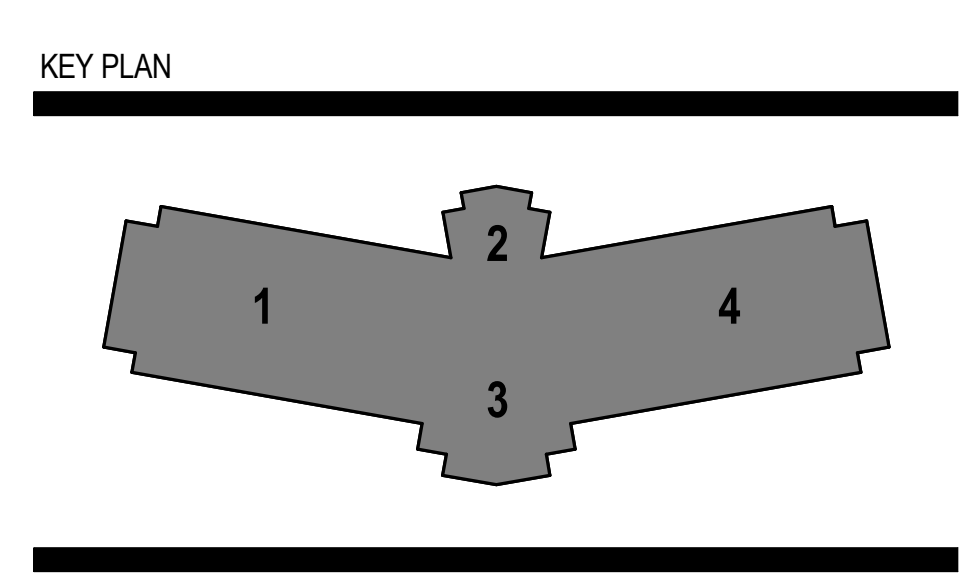


A1 SECOND FLOOR
1/16" = 1'-0"



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680



ISSUANCE AND REVISIONS

PRELIMINARY SITE AND OPERATIONAL PLAN

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE H2 OFFICE BUILDING

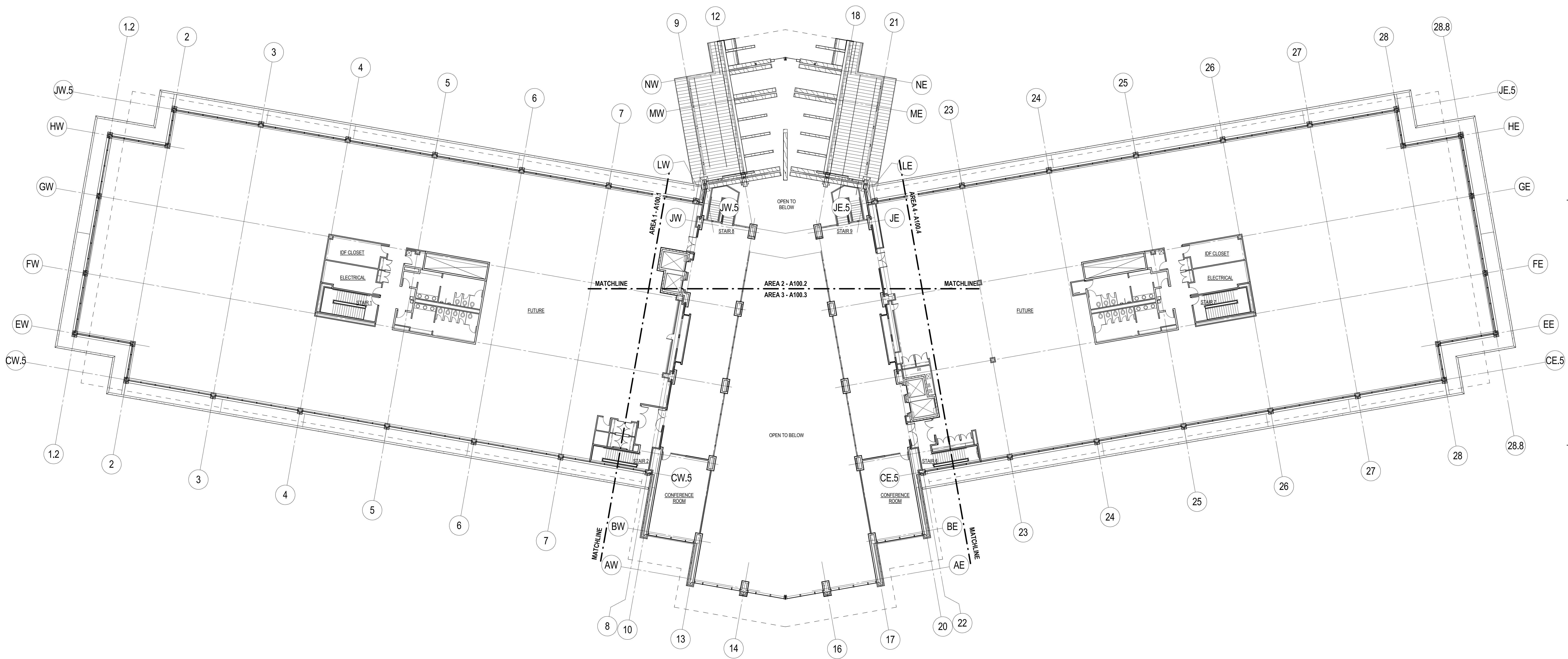
120th Avenue
Pleasant Prairie, Wisconsin

SHEET INFORMATION

DATE:	02/06/15	OVERALL SECOND FLOOR PLAN
PROJECT NUMBER:	214344-01	
PROJECT MANAGER:	PK	

A102

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A1 THIRD FLOOR
1/16" = 1'-0"

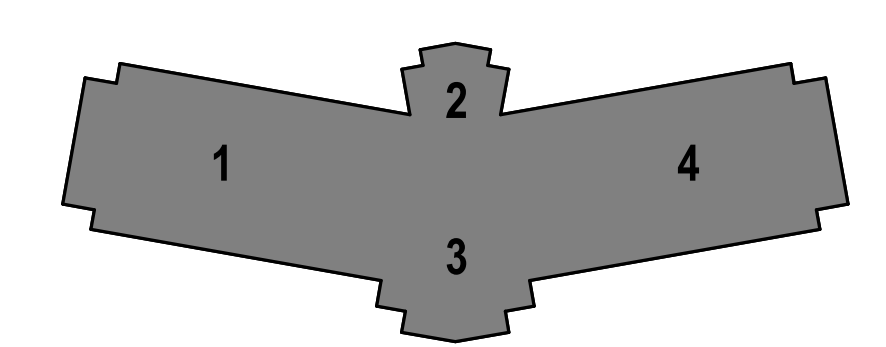


eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
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tel 608 442 5350 fax 608 442 6680

KEY PLAN



ISSUANCE AND REVISIONS

PRELIMINARY SITE AND OPERATIONAL PLAN

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE H2 OFFICE BUILDING

120th Avenue
Pleasant Prairie, Wisconsin



SHEET INFORMATION

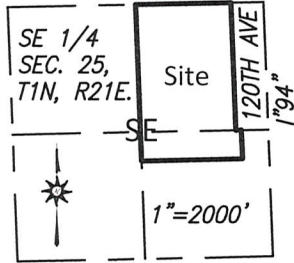
DATE:	02/06/15	OVERALL THIRD FLOOR PLAN
PROJECT NUMBER:	214344-01	
PROJECT MANAGER:	PK	

A103
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PRELIMINARY CERTIFIED SURVEY MAP NO. _____

All of Lots 1 and 2 of Certified Survey Map No. 12811 and all of Parcel A and B of Certified Survey Map No. 603 in that part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 25, Township 1 North, Range 21 East of the fourth Principal Meridian, located in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

VICINITY MAP



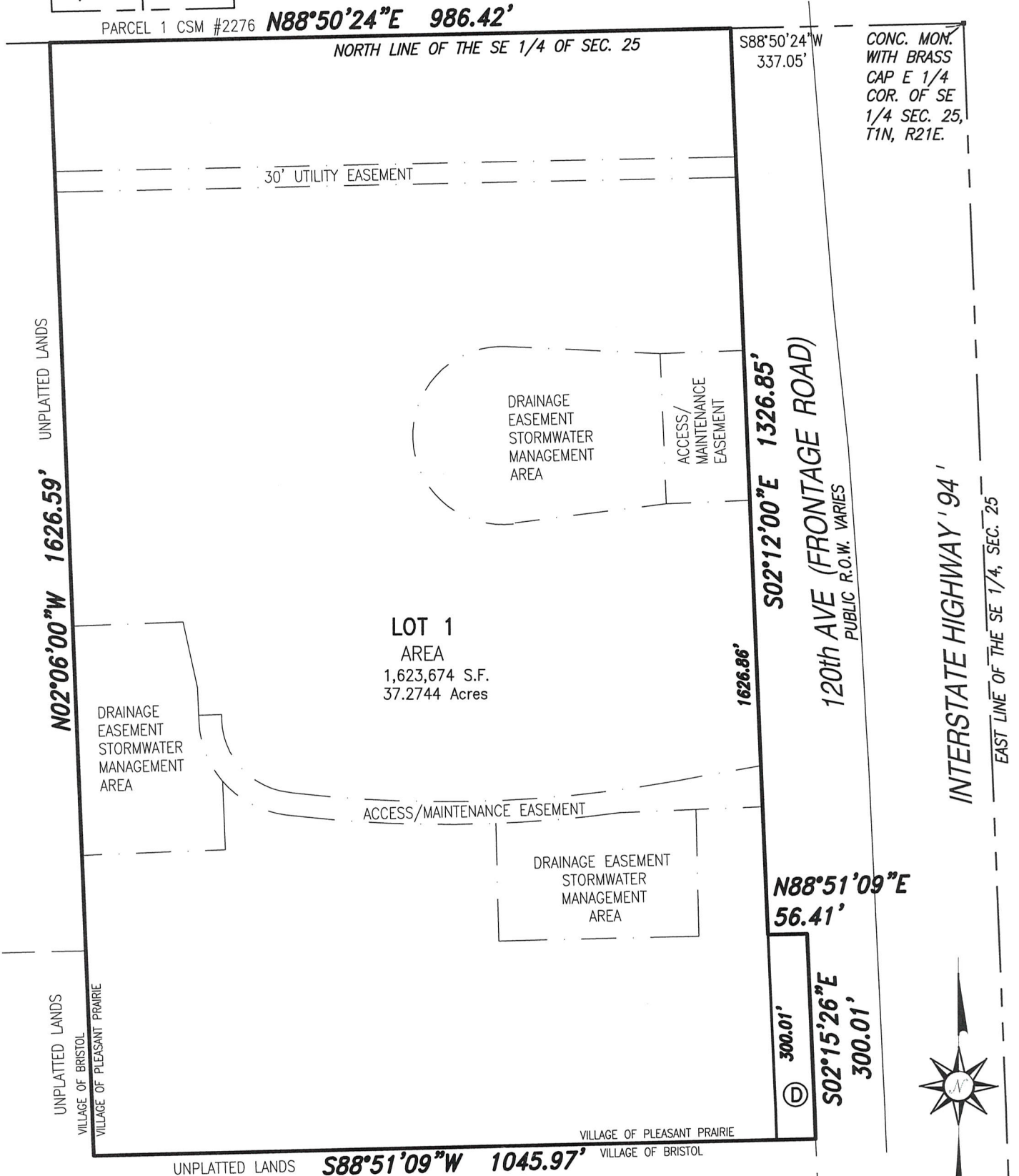
Owner/Subdivider:
Route 165 LLC
12575 Uline Dr.
Pleasant Prairie, WI 53158

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone) NAD 27, in which the North line of the Northwest 1/4 of Section 25 bears N88°59'11" E.

LEGEND

- Indicates set 1" iron pipe, 18" in length, 1.68 lbs. per lineal foot.
- Indicates found 1" iron pipe.
- ⓓ Indicates dedicated to public for street purposes.

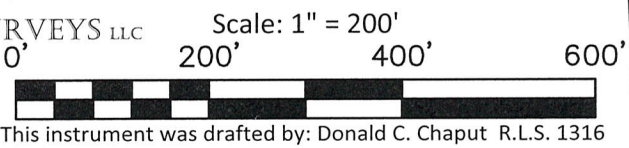
PARCEL 1 CSM #2276 **N88°50'24"E 986.42'**



CONG. MON. WITH BRASS CAP E 1/4 COR. OF SE 1/4 SEC. 25, T1N, R21E.



CHAPUT LAND SURVEYS LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com



Date: February 4, 2015
Drawing No. 1309-deb

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

All of Lots 1 and 2 of Certified Survey Map No. 12811 and all of Parcel A and B of Certified Survey Map No. 603 in that part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 25, Township 1 North, Range 21 East of the fourth Principal Meridian, located in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}

:SS

MILWAUKEE COUNTY}

I, DONALD C. CHAPUT, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped all of Lots 1 and 2 of Certified Survey Map No. 12811 and all of Parcel A and B of Certified Survey Map No. 603 in that part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 25, Township 1 North, Range 21 East of the fourth Principal Meridian, located in the Village of Pleasant Prairie, Kenosha County, Wisconsin which is bounded and described as follows:

Commencing at the East 1/4 corner of said Section 25; thence South 88°50'24" West along the North line of the Southeast 1/4 Section 337.05 feet to the West line of 120th Avenue (Frontage Road) and the point of beginning of the lands hereinafter described; thence South 02°12'00" East along said West line 1326.85 feet to a point; thence North 88°51'09" East along said West line 56.41 feet to a point; thence South 02°15'26" East along said West line 300.01 feet to a point; thence South 88°51'09" West 1045.97 feet to a point; thence North 02°06'00" West 1626.59 feet to a point on the said North line; thence North 88°50'24" East along said North line 986.42 feet to the point of beginning. Lands contain 1,623,674 square feet or 37.2744 acres.

THAT I have made the survey, land division and map by the direction of Route 165 LLC, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Code in surveying, dividing and mapping the same.

Date: February 4, 2015

DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

CHAPUT LAND SURVEYS LLC

234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com
Sheet 2 of 4 Sheets

THIS INSTRUMENT WAS DRAFTED BY DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

Date: February 4, 2015
Drawing No. 1309-deb

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

All of Lots 1 and 2 of Certified Survey Map No. 12811 and all of Parcel A and B of Certified Survey Map No. 603 in that part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 25, Township 1 North, Range 21 East of the fourth Principal Meridian, located in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE

Route 165 LLC, a Wisconsin limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, hereby certifies that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of the Village of Pleasant Prairie.

Route 165 LLC, as owner, does further certify that this map is required by S.236.34 to be submitted to the following for approval or objection: Village of Pleasant Prairie.

IN WITNESS WHEREOF, Route 165 LLC, has caused these presents to be signed by the hand of _____, _____, on this ____ day of _____, 2014

In the presence of:

(Witness) _____

STATE OF WISCONSIN}
 :SS
 COUNTY}

Personally came before me this ____ day of _____, 2014, _____, _____ of Route 165 LLC, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.

VILLAGE BOARD APPROVAL

Resolved that the Certified Survey Map located in the Northwest 1/4 and Southwest 1/4 of Section 25, Town 1 North, Range 21 East, Village of Pleasant Prairie is approved by the Village Board of the Village of Pleasant Prairie.

Date _____

John Steinbrink, Village President

Date _____

Jane Romanowski, Village Clerk

PLAN COMMISSION APPROVAL

Approved that the Certified Survey Map located in the Southeast 1/4 of Section 25, Township 1 North, Range 21 East, Village of Pleasant Prairie is approved by the Plan Commission of the Village of Pleasant Prairie.

Date _____

Thomas Terwall, Chairperson

Date _____

Donald Hackbarth, Secretary

CHAPUT LAND SURVEYS LLC

234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com
Sheet 3 of 4 Sheets

THIS INSTRUMENT WAS DRAFTED BY DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

Date: February 4, 2015
Drawing No. 1309-deb

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

All of Lots 1 and 2 of Certified Survey Map No. 12811 and all of Parcel A and B of Certified Survey Map No. 603 in that part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 25, Township 1 North, Range 21 East of the fourth Principal Meridian, located in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE

_____, _____, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping the land described on this map and does hereby consent to the above certificate of Route 165 LLC, Owner.

By _____ Its

Name: _____

Title: _____

STATE OF WISCONSIN}
 :SS
_____ COUNTY}

Personally came before me this ___ day of _____, 2015, _____, of _____, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.

CHAPUT LAND SURVEYS LLC

234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com
Sheet 4 of 4 Sheets

THIS INSTRUMENT WAS DRAFTED BY DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

Date: February 4, 2015
Drawing No. 1309-deb

- B. Consider the request of John Semcken III, Senior Vice President of Majestic Realty Co. for approval of a **one year time extension of the Site and Operational Plans** as conditionally approved by the Plan Commission on May 13, 2014 for the Majestic Center Development on 88th Avenue about ¼ mile south of Bain Station Road.

Recommendation:

Village staff recommends that the Plan Commission grant a one (1) year extension (until May 13, 2016) of the Site and Operational Plans for the proposed 1,180,480 square foot warehouse/distribution center (Majestic Badger Logistic Center) subject to compliance with the June 4, 2013 approval letter and compliance with any Village Ordinance amendments made since the May 13, 2013 original approval.

VILLAGE STAFF REPORT OF MARCH 9, 2015

Consider the request of John Semcken III, Senior Vice President of Majestic Realty Co. for approval of a **one year time extension of the Site and Operational Plans** as conditionally approved by the Plan Commission on May 13, 2014 for the Majestic Center Development on 88th Avenue about ¼ mile south of Bain Station Road.

On May 13, 2013 the Plan Commission conditionally approved Site and Operational Plans for the petitioner to develop the vacant property generally located approximately ¼ mile south of Bain Station Road on the east side of 88th Avenue (Tax Parcel Number 92-4-122-162-0301) with the construction of a 1,180,480 square foot warehouse/distribution building. The speculative industrial building is referred to as Majestic Badger Logistic Center.

The Plan Commission conditionally approved the Site and Operational Plans for one (1) year (until May 13, 2014) subject to the conditions specified in the attached approval letter dated June 4, 2013.

On May 12, 2014 the Village Plan Commission. granted a one (1) year extension (until May 13, 2015) of the Site and Operational Plans for the proposed 1,180,480 square foot warehouse/distribution center (Majestic Badger Logistic Center) subject to compliance with the June 4, 2013 approval letter and compliance with any Village Ordinance amendments made since the May 13, 2013 original approval.

At this time the petitioner is requesting another one (1) year extension (until May 13, 2016) of said Site and Operational Plans.

Village staff recommends that the Plan Commission grant a one (1) year extension (until May 13, 2016) of the Site and Operational Plans for the proposed 1,180,480 square foot warehouse/distribution center (Majestic Badger Logistic Center) subject to compliance with the June 4, 2013 approval letter and compliance with any Village Ordinance amendments made since the May 13, 2013 original approval.



MAJESTIC REALTY CO.

R.E. License #00255328 (CA)

February 12, 2015

13191 Crossroads Parkway North • City of Industry, CA 91746-3497
Office (562) 692-9581 • FAX (562) 695-2329

Ms. Jean Werbie-Harris
Village of Pleasant Prairie
9915 39th Ave
Pleasant Prairie, WI 53158

RECEIVED

FEB 18 2015

PLEASANT PRAIRIE

Re: Site and Operational Plan Extension

Dear Jean,

Thank you for arranging the meeting with your entire staff and County Transportation on Monday. We are meeting today to ensure we have completed all of the requirements you stated in your January 21, 2015 email.

In addition, as we discussed in our meeting on Wednesday our approvals for our original Site and Operational Plan expire on May 13, 2015 and we would like to formerly request a year extension of those approvals. I have enclosed a check for the filing fee of \$100.00 for the processing of the extension.

Sincerely,

MAJESTIC REALTY CO.

John H. Semcken III
R.E. License #00979758 (CA)
Senior Vice President

cc: Taylor Talt
Josh Wheeler
Ed Roski
Skip Bailey
John Burroughs



Office of the Village Community
Development Director
Jean M. Werbie-Harris

VIA EMAIL

June 4, 2013

Mr. Adam Artz, P.E.
Pinnacle Engineering Group
15850 W. Bluemound Road, Suite 314
Brookfield, WI 53005

Dear Mr. Artz:

The purpose of this letter is to inform you that on May 13, 2013 the Village of Pleasant Board of Trustees conditionally approved the **Site and Operational Plans** for the construction of a 1,180,480 square foot warehouse/distribution center on the 91 acre site generally located approximately ¼ mile south of Bain Station Road on the east side of 88th Avenue (Tax Parcel Number 92-4-122-162-0301) in the Village to be known as the Majestic Badger Logistic Center.

The Site and Operational Plans were approved subject to the following comments and conditions:

COMMENTS:

At this time, there is no defined user for the building; however the owners are requesting Final Site and Operational Plans with anticipation that the building will commence construction later this summer. [NOTE: any tenant that proposes to use/occupy 50% or more of a speculative building will also require Site and Operation Plan approval from the Plan Commission. Also, depending on the use proposed, the tenants may also require a Conditional Use Permit/Site and Operational Plan approval from the Plan Commission].

The site has been designed so that the building can be easily divided into as many as four tenants. The building design is a "cross dock" facility with trailer storage as indicated on the plans. The design provides for "secured" truck courts in the event that future tenants require that feature. Majestic has coordinated closely with the Village to provide ongoing access to the Village's sanitary sewer line that runs through the site in a Village easement. Landscaping has been designed to provide screening where appropriate. The project also includes minor floodplain boundary adjustment to facilitate the development of the site.

Wetlands: The wetlands were field delineated on the site in 2008 by Wetland and Waterway Consulting as approved by the WI DNR on December 19, 2008. The wetland areas are shown on the CSM within Wetland Preservation and Protection, Access and Maintenance Easement. Legal descriptions of the WI DNR approved wetland delineations shall be shown on the CSM.

Shorelands: Jerome Creek is located adjacent to the property. This Creek has been determined to be a navigable waterway. The location of the Ordinary High Water Mark (OHWM) shall be field identified by the WI DNR and shown on the plans and the CSM with a legal description. The Plans shall also show the location of the 75 foot OHWM setback and the 300 foot shoreland jurisdictional area. Any work within 75 feet of the OHWM will require approval of a Stipulated Shoreland Permit and any work within 300 feet may require additional permits from the WI DNR.

Floodplains: The location of the 100-year floodplain associated with Jerome Creek shall be field delineated pursuant to the DFIRM Map panel 191D dated June 19, 2012 and the associated table for the Jerome Creek which identifies the 100-year floodplain elevations. As noted above, the

Floodplain Boundary Adjustment was conditionally approved by the Plan Commission on April 8, 2013 and has not been considered by the Village Board since the plans needed to be modified and approval from the DNR is still pending. The floodplain boundary adjustment proposes to remove approximately 98,173 cubic feet of floodplain and to create approximately 99,144 cubic feet of floodplain to compensate for the floodplain being filled. The 100-year floodplain area after the amendment will be shown in a Floodplain Preservation and Protection, Access and Maintenance Easement on the CSM.

Woodlands: A tree survey has been completed along the north property lines and will be preserved. The woodland areas to be protected will be located within a Woodland Preservation and Protection, Access and Maintenance Easement on the CSM. The grading and berming along the north property line east of the cemetery will also be done in such a way as to protect the drip line of the trees.

Building Setbacks: The M-2 District requires that the building meet the following minimum setback requirements:

- Street setback: minimum of 65 feet from CTH H.
- Side and rear setback: 45 feet minimum.
- Shore setback: 75 feet minimum from the OHWM of Jerome Creek.
- Wetland setback: 25 feet from the wetlands on the property.
- There is no setback to the 100-year floodplain; however no structures shall be located within the 100-year floodplain.

Setback for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) as measured from the back of curb shall meet the following minimum requirements:

- Industrial area parking setback: 90 feet minimum to the future residential lot area in the northeast corner of the site.
- A minimum of 20 feet from the front CTH H right-of-way.
- A minimum of 20 feet from other private roadways and drives to the side and rear lot lines with the exception to the east property line wherein a zero setback is proposed as part of the Planned Unit Development (discussed below)
- A minimum of 70 feet from the north property line at the northeast end abutting future residential development.
- In addition, parking areas shall not be located within any easements unless express written approval is allowed by the easement holder.

Site Access and Parking: A Traffic Impact Analysis (TIA) has been prepared by the Developer's Consultant and reviewed by the Village and Kenosha County. A copy of the Consultant's recommendations indicates that both deceleration/acceleration lanes and by-pass lanes should be installed by the Majestic Developer. A copy of the summary is attached to this memorandum. In addition, the Village Engineering Department is completing a Transportation Improvement Analysis (TIA) to address the Village's transportation system for the roadways and intersections located in proximity to the Majestic development site. The Majestic Development will be required to pay for their cost share of the intersection improvements at CTH H and 95th Street and at CTH H and Bain Station Road. The Village TIA for the area transportation system is anticipated to be completed this spring.

Employee, client, visitor vehicular and secondary truck access to the site will be from two (2) driveways on 88th Avenue. The northern entrance will be directly south of the cemetery. The southern driveway will be located north of the proposed retention facility approximately 900 feet north of the south property line.

All parking areas and maneuvering lanes, fire lanes including the truck court, shall be improved with concrete vertical curb and gutter. The plan includes 283 automobile parking spaces, 22

handicapped accessible parking spaces and 461 trailer spaces. The truck court faces west 88th Avenue and east toward the Pleasant Prairie Power Plant.

Pursuant to the Village Zoning Ordinance the minimum on-site parking spaces for a manufacturing use would require five (5) spaces, plus one (1) space per employee on the largest shift and the required number of handicapped accessible parking spaces pursuant to the State Code. The minimum on-site parking spaces for a warehouse/distribution center is based on one (1) space for every two (2) employees during any 12-hour period and the required number of handicapped accessible parking spaces pursuant to the State Code. At the time that the proposed building size, use and number of employees are known, adequate on-site parking shall be identified and provided.

The final number of required parking spaces will be determined based on the actual tenant(s). However, the number of parking spaces that have been provided in anticipation of the future tenants is indicated on the site plan.

Public Sewer and Water: The development shall be served by public sanitary sewer and water. Municipal water is located in 88th Avenue and public sanitary sewer is located within an easement on the site. The location of the parking areas, fire lanes and maneuvering lanes may be allowed over the existing sanitary sewer easement subject to certain conditions. Easement language has been added to the CSM that specifies access and maintenance responsibilities. It is important to note that the Village must be able to obtain easy access to and over the sewer main for maintenance purposes.

Open Space, Stormwater Retention and Landscaping: The M-2 District requires that at a minimum, 25% of the site must be open space. Within the amount of 100-year floodplain and proposed stormwater facilities it appears that more than 25% of the site will remain in open space; however, verification of the amount (area and percentage) of open space on the site shall be provided to ensure that this minimum is being met. The retention basin edge shall be a minimum of 20 feet setback to the CTH H right-of-way (after right-of-way has been dedicated for the future widening of CTH H).

The truck dock areas adjacent to 88th Avenue will be extensively screened with a combination of berms and evergreens and other more dense-like landscaping and fencing. Landscaping and fencing shall be installed to screen the site from the adjacent highway/bike trail and existing residential and future residential development proposed to the west of 88th Avenue. All berms, fencing and landscape screening shall be installed within the adjusted property boundaries (after the dedication of the additional right-of-way on 88th Avenue). In addition, the owner will be required to install street trees adjacent to the roadway within the CTH H right-of-way per the Village requirements. A street tree plan, insurance certificate (with the Village also listed as an insured party) and financial security (cash on deposit) shall be provided to and approved by the Village for the installation of the public street trees. The Landscaping Contractor shall be pre-approved by the Village.

CONDITIONS

1. Prior to issuance of building permits, the Certified Survey Map shall be recorded at the Kenosha County Register of Deeds Office and the Zoning Map and Text (PUD Ordinance) Amendments shall be approved by the Village Board (conditionally approved by Village Board on May 20, 2013).
2. The Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed

conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made to the plans and three (3) revised Site and Operational Plans with a written description of how each of the comments below have been addressed shall be submitted for final staff review:**

- a. The plans shall be combined into one plan set, engineering, architectural, lighting and landscaping. The title page shall include an index listing all the plan sheets included. The Plan sheet shall be labeled Site and Operational Plans for Majestic Badger Logistics Center and shall include at a minimum the name, address, telephone number and fax number of the applicant, any project manager or principal contact person, and any architect, professional engineer or land surveyor involved in the preparation of the plans; a table of contents showing each plan sheet; and the date of the title page. In addition, the title page shall include a general location map, legal description of the property, information related to site area, area and % of open space, the building size, the number of parking spaces—both passenger vehicles and truck parking. Also include the zoning or the property on the cover sheet no on sheet C-2. (Plan Sheet C-2 indicates that the property is zoned A-2—remove. The property was rezoned to M-2 in October 2012. Also the note indicates the site is zoned SO, Shoreland Overlay). The Village has no such zoning designation. However the property is subject to shoreland zoning requirements.)

Place the following note on the cover sheet "Prior to construction, a pre-construction conference must be held at the Village offices. The pre-construction conference shall be scheduled and moderated by the designing engineer of record".

- b. The location of all field delineated environmental features shall be clearly shown on Sheet C-2 and sheet A1 including:
 - i. The location of the existing 100-year floodplain based on actual field delineation and the elevation of the base flood elevation.
 - ii. The location of the proposed 100-year floodplain area after the floodplain boundary adjustment.
 - iii. The location of the field delineated wetlands including a note related to who staked the wetlands, the date they were staked, the date the staking was approved by the WI DNR, and the legal description of the wetlands. A copy of the delineation report and written approval letter from WI DNR shall also be provided to the Village.
 - iv. The location of the OHWM of Jerome Creek, the date staked by the WIDNR, the required 75 foot setback line, the required 300 foot shoreland jurisdictional boundary, and a legal description of the OHWM.
- c. All Easements shown on the CSM shall be shown on the Engineering Plans, Site Plans and Landscaped Plans.
- d. Plan Sheet C-3: The number of parking spaces indicated in the "Parking Counts" table do not match the number of parking spaces provided [Section (j)] of the written Operation Plan. These numbers shall be re-checked and corrected so that the parking count numbers are consistent throughout the plan submittal.
- e. Plan Sheet A1: The number of parking spaces indicated in the "Project Info" table do not match the number of parking spaces provided [Section (j)] of the written Operation Plan. These numbers shall be re-checked and corrected. These numbers

shall be re-checked and corrected so that the parking count numbers are consistent throughout the plan submittal.

- f. Plan Sheet C-4: If the Kenosha County Board of Supervisors has already vacated the small triangle-shaped portion of 88th Avenue right-of-way along the east side of 88th Avenue, then the note stating "Proposed R.O.W. Vacation" shall be corrected accordingly stating something to the effect of "Vacated portion of 88th Avenue (CTH H) as approved by the Kenosha County Board of Supervisors on _____, 2013, by Resolution ____".
- g. On the Construction Detail Sheets, show a detail of the proposed 8' high black vinyl-coated chain-link fencing being used for security purposes.
- h. The proposed "gravel strips" proposed between fence/retaining walls and curbs, the strips shall be paved.
- i. The following comments relate to the Grading Plan / Storm Sewer:
 - i. The plans shall show the existing 12-inch water main located on the west side of CTH H within the road by-pass work areas. The main shall also be shown on the utility plan sheets.
 - ii. The plans shall show the CTH H west right-of-way location on all relevant site and grading plans. Any work extending beyond the right-of-way will require written approval from the subject property owner(s).
 - iii. Are there hydrant or water valve adjustments needed due to the by-pass lane work and grading? Plans shall identify all required adjustments.
 - iv. The plans shall show the storm sewer system alignment on the grading plan sheets.
 - v. Proposed contours are needed within CTH H near the proposed 30-inch storm sewer located by the south entrance.
 - vi. Drainage within the CTH H right-of-way shall be clarified. The area of question is between the storm sewer by-pass systems. Currently there does not appear to be positive drainage. Revise plans as needed to provide positive road drainage.
 - vii. Clarify the purpose of the cross hatched area noted for "Remove existing topsoil to a depth of 2-ft and replace with topsoil from on-site".
 - viii. Label the existing contour elevations along CTH H. It is very hard to decipher what the existing contour elevations are within the right-of-way.
 - ix. Expand the grading plan coverage by the storm sewer discharge location at Jerome Creek. Show and label the CTH H box culvert and stream area. Label Jerome Creek and the ordinary high water elevation.
 - x. Place a note on the plans indicating that the 12-inch pond discharge storm sewer shall be privately owned and maintained by the property owner.
 - xi. Provide a plan / profile of the storm sewer from the south pond to Jerome Creek. Provide required backfill material and pertinent County work in the right-of-way provisions for the project including traffic control plans. Also, will the trench work require the road to be open cut and repaired?
 - xii. Provide a detail of the restricting orifice plate and where / how it is installed on the pond discharge storm sewer.

- xiii. The plans shall show the existing 16-inch water main located on the east side of CTH H along the entire alignment of the south pond discharge storm sewer. Also show the right-of-way along the entire alignment. Adequate separation shall be provided between the storm sewer and water main.
- xiv. Provide spot grades (minimum of 1 every 100 feet) for the sanitary sewer maintenance path and grading clarifications around manholes. Also, a geotechnical design report shall be provided for the path section.
- xv. The sewer maintenance path turnaround tee needs to be extended. The back-up tee(s) need to be a minimum of 50-feet in length. Also, verify that path turning radii accommodates the turning movements of the Vac-truck which is 40-feet in length.
- xvi. There appears to be a fire hydrant located approximately 105-feet south of manhole 84.0 that is in conflict with the storm alignment. Plans shall address conflict resolution.
- xvii. There appears to be a cover issue for the storm sewer near FES 83.2. Plans shall be revised to provide adequate cover over the storm sewer.
- xviii. Crossing No. 8 information appears incorrect. Revise accordingly.
- xix. The following comments pertain to the proposed 36-inch by-pass storm sewer.
 - (a) The design engineer shall evaluate and, if feasible, change the route of the proposed 36-inch by-pass storm sewer to run south and discharge south of the building.
 - (b) If the 36-inch storm sewer cannot be rerouted south, then the 36-inch by-pass storm sewer discharge location shall be changed to discharge south of the sewer maintenance path to avoid gravel washouts.
 - (c) Due to the concentrated discharge flow, the land downstream of the discharge to the creek shall be engineered to prevent washouts and erosion.
 - (d) Eliminate the sump in CB 85.0 or clarify the need for it.
 - (e) The proposed 36-inch by-pass storm sewer shall be privately owned and maintained. Since this sewer conveys offsite drainage, a storm sewer maintenance and access easement shall be placed over the storm sewer providing access and maintenance rights (not obligation) to the Village.
- xx. Adjust the proposed 30-inch by-pass storm sewer alignment to provide a quicker separation the water main near FES 92. Any portion of the storm sewer outside the right-of-way shall have an easement, same as noted above for the 36-inch by-pass storm sewer.
- xxi. The design engineer shall reconfigure the east storm water pond secondary outlet to be conveyed under the sanitary sewer path and discharge directly into the creek.
- xxii. Any obstructions in the Creek within the property boundary (i.e. fallen trees, branches, etc.) shall be removed.

- xxiii. Identify the locations for the anti-seep collar(s) on the plans and/or on the pond cross sections for the outlet pipes.
- j. The following comments relate to Storm Water Management
 - i. Provide soil boring information for the pond areas showing the soil profile and ground water elevation. Is the groundwater elevation above the normal water elevation?
 - ii. The majority of active storage within the stormwater management ponds is below the 100-year floodplain elevation. Although the pond is outside the floodplain boundary, it is interconnected by the 12-inch outlet storm sewer. The following needs to be addressed: The backwater effect from Jerome Creek shall be evaluated and addressed in the report and design. As is, it is expected that the backwater from Jerome Creek will inundate the ponds reducing the storage capacity of the ponds for the site from that which is modeled.
 - iii. Provide a drainage basin map and storm sewer sizing calculations for the offsite area(s) draining through the CTH H cross culverts and evaluate the proposed by-pass storm sewer sizes for these areas. (I.E. provide additional justification/evaluation for sizes used other than matching existing culvert sizes to ensure they are not undersized for the areas served).
 - iv. Provide calculations / drainage map(s) for culvert sizes used in the plans.
 - v. The stormwater management plan shall be stamped and signed by the Wisconsin Licensed Professional Engineer under which the plans were prepared.
- k. The sanitary sampling manhole detail shall be changed to reflect the Village standard. Sampling manholes shall comply with the following:
 - i. Sampling manhole shall meet the standards of a typical minimum 48-inch diameter sanitary manhole, with eccentric cone as specified in Chapter 405 of the municipal code with a primary flow measuring device installed.
 - ii. Frame and grate shall be Neenah R-1580 with Type "B" non-rocking frame and cover. Manhole casting shall have a chimney seal.
 - iii. Primary flow measuring device shall be a palmer-bowlus flume with integral approach section. Flume size shall be based upon lateral pipe size and shall be installed per manufactures specifications and tolerances.
 - iv. No horizontal alignment changes shall be allowed at the sampling manhole.
 - v. The sampling manhole shall be located to allow easy access for utility crews.
- l. The following comments pertain to the gravel path detail/design.
 - i. Label the detail "Sanitary Sewer Access Path".
 - ii. Provide a geotechnical report / supporting engineering for the section design.
 - iii. The detail notes "weed barrier". What is this? Specify the section materials (geotextile fabric type, stone gradation etc.).
 - iv. Gravel path shall pass a proof-roll test witnessed by the Village.
 - v. Excavation below subgrade may be required and noted on the plans.

- m. Label the size of the existing water main (16-inch) on the sheet in which the site service connection is being made. A service branch shut off valve shall be placed near the connection within the right-of-way.
- n. Replace the fire hydrant detail with the Village standard detail. Hydrants shall be in conformance with the Village Standard Specifications (Chapter 405 of the Municipal Code).
- o. Replace the sanitary manhole detail with the Village standard detail. External chimney seals shall be used. Manhole castings and covers shall conform to the Village standard detail.
- p. Based on our maps, the existing fire hydrant located on the west side of CTH H near the north entrance is off of the 12-inch water main located along the west side of CTH H.
- q. Show all the Easements shown on the CSM on the Landscaping Plans.
- r. The setback from the car parking lot on the north property line shall be a minimum of 70 feet from the lot line to the parking lot back of curb not 69'10".
- s. Eliminate the proposed plantings in middle of the proposed by-pass storm water swale west of the south detention basin.
- t. The 8' chain link vinyl coated fences shall not be placed on the north property line east of Kenosha County's property as it will damage the roots of the trees along the property line. The exact location shall be marked in the field and then the location identified on the site plans.
- u. It is not clear where the 8' fence ends along the north property line – a detail shall clarify the location and length.
- v. There shall be no grading within the drip line of the trees (25 feet) on the north side of the site adjacent to the Steinbrink property. Construction fencing shall be installed to delineate the no-grade area.
- w. All landscaped areas will be required to be irrigated with a sprinkler system. The base map for the landscape and irrigation plans shall include the approved grading plan. In addition, the location of all pedestals and transformers and proposed screening shall be shown on the Landscape Plans. The Irrigation Plan to be submitted for Village staff review and approval prior to issuance of building permits.
- x. Locations and details of the required garbage dumpster enclosures shall be provided on the plans. The dumpster enclosures shall be constructed of similar brick, block or stone materials as the building and be part of the building. Detached garbage enclosures are not allowed. Wooden fence enclosures are not allowed. Sample materials, doors and paint colors of the dumpster enclosures shall be submitted for review and approval.
- y. Details (cut sheet details) of the proposed exterior lighting on the building, in the parking areas shall be provided on the required Site and Operational Plan. In addition, provide a photometric plan to ensure proper lighting levels at the property boundaries as required by Article IX of the Village Zoning Ordinance. Concrete bases shall not exceed 18 inches above grade and shall be located in landscape island areas. The Village has some concerns related to the on-site lighting. A conference call has been scheduled for Thursday June 6, 2013 at 10:30a.m. to further discuss.

- z. It is not clear if a guard house on the south side of the building is being constructed—there is a rectangle drawn on the plans? If yes, submit the detailed plans for the building and gate structures.
 - aa. The Village must approve the landscaping contractor (Village pre-approval process) for all public street tree installation work. An insurance certificate and a cash deposit plus 15% contingency shall be deposited with the Village prior to work commencing. All street trees shall be staked and inspected by the Village prior to planting. A minimum of a 1-year warranty shall be provided. The landowner is responsible for the maintenance and replacement of the trees.
 - bb. A DSIS system will not be required for this development.
 - cc. **The south, west and north building elevation details shall include bump-outs adjacent to each of the corners – not just painting the detail. Add a stripe along the north of the walls, between the windows and show the light (wall pack locations). See attached marked up elevations.**
 - dd. Compliance with the **attached** memo dated May 9, 2013 from the Village Fire & Rescue Department. ***Pursuant to condition #2 the owners shall submit a letter to the Fire & Rescue Department prior to obtaining building permits stating that the project will comply with all requirements of this memo. A copy of this letter shall also be provided to the Community Development Department.***
 - ee. Compliance with the **attached** memo dated May 2, 2013 from the Village Building Inspection Department.
3. Traffic Improvements: The required improvements and Developer cost share contribution for the intersection of Bain Station Road and CTH H needs to be finalized this spring. The Developer will be required to pay for certain improvements as discussed in the TIA summary report and the Developer will be obligated to pay for a portion of the future improvement costs for the adjacent intersections at CTH H/95th Street and CTH H/Bain Station Road.

General Comments:

- 1. Upon approval of the Site and Operational Plans, and prior to the issuance of the required permits an electronic pdf of all plan sheets shall be provided to the Village.
- 2. The Site and Operational Plans shall be identical to the State approved plans submitted for building permits.
- 3. A copy of the Kenosha County work in the right-of-way permit shall be obtained and a copy provided to the Village.
- 4. The Commercial Building Permit applications and required State approved plans; a Village work in the right-of-way permit application and plan; and an Erosion Control Permit Application and plans with a copy of the Wisconsin Department of Natural Resources N.O.I. and Chapter 30 permit, if required shall be submitted for the Village's review and approval. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing, if the amount is not drawn upon by the Village for maintaining the adjacent roadways by keeping them free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.] As stated above Preliminary Site and Operational Plan approved may allow for permits to be submitted in phases.

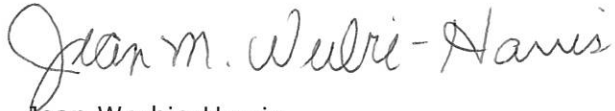
5. Municipal connection fees shall be paid prior to the connections to the sanitary sewer system.
6. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Market & Swift software analysis prepared by the Village Assessing Department).
7. Prior to work commencing on the site, all required permits shall be issued by the Village, all required erosion control measures are in place on the site and a pre-construction conference shall be held at the Village Offices. The preconstruction conference shall be scheduled and moderated by the designing Engineer of record.
8. After the installation of the footing and foundations and prior to the setting the wall an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to verify that the building meets all of the required setbacks.
9. A primary monument sign is required to be installed for this building that includes the building address. Due to the size of the site two (2) primary monument signs may be allowed near each entrance. All signs shall comply with Chapter 420 Article X of the Village Municipal Code.
10. All required landscaping or screening shall be installed prior to occupancy of the building. Written verification and/or certification shall be provided to the Village by the landscape designer that the landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and they shall grant the Village a temporary easement to complete the landscaping (if not completed in the agreed upon time frame), and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping. The amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to guarantee the future completion of any landscaping improvements.
11. Prior to written occupancy of the building and associated site improvements three (3) copies of an as-built plan stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were marked per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the landscaping and signage companies that the landscaping and signage was installed pursuant to the approved Site and Operational Plans shall be submitted.
12. Prior to written occupancy, an as-built record drawing of graphical data of all sewer, water, and storm sewer facilities installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
13. A record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all the water main and storm sewers shall be prepared by the Engineer of Record for the project.
14. For security reasons, the construction site shall be surrounded with a six (6) foot high chain link fence. A fence permit is required for the temporary fencing.

15. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
16. There shall be no construction parking permitted on 88th Avenue (CTH H). On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
17. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in Village rights-of-way. All construction related signage shall be approved and permitted by the Village.
18. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
19. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit. The size is restricted per the Zoning Ordinance.
20. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
21. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
22. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
23. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
24. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
25. There shall be no outdoor storage or display of materials, goods or equipment on this site, unless as approved by the Village.
26. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
27. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
28. Each handicapped accessible parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
29. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
30. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
31. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

32. All Village fees incurred by the Village Community Development Department and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

If you have any questions, do not hesitate to contact me directly at the Village Municipal Building at (262) 925-6717.

Sincerely,

A handwritten signature in cursive script that reads "Jean M. Werbie-Harris".

Jean Werbie-Harris
Community Development Director

Enc.

cc: John H. Semcken, III Vice President, Majestic Realty Co.
Josh Wheeler, Senior Associate, Majestic Realty Co.
Taylor Talt, Majestic Realty Co.
Doug McElmury, Fire & Rescue Chief
Mike Spence, P.E., Village Engineer
Building Inspection Department



Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director

FROM: Doug McElmury, Chief Fire & Rescue Department

CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development

SUBJECT: Review of the Majestic Badger Logistics Center

DATE: 9 May 2013

This is a review of the Site and Operational Plan for the proposed building currently known as Majestic Badger Logistics Center. The facility is an industrial building, with a proposed square footage of 1,180,480 S.F. The building is located east of 88th Ave and south of Bain Station Rd.

The Facility is classified under Wisconsin Administrative Code, and the International Building Code, specifically: Factory - Industrial: F-1 (Moderate Hazard); Storage: S-1 (Moderate Hazard) not separated; Construction Class Type 2B, unprotected with automatic fire sprinkler system.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- This is a review of the Concept Plan, however, it is understood, that typical and customary fire protection features have not been shown of the plans, dated: 7/5/12.

- AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
 - Fire Alarm Control Panel: The main FACP will be placed in the fire sprinkler riser/fire pump room. Remote annunciator panel location(s) will need to be determined.
 - Gates are shown on the submitted drawing. Gates will need to open automatically on receipt of a fire alarm or be manually controlled by a fire department authorized locking system, independent of the fire alarm system.
 - Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
 - Fire hydrants: **There are areas shown on the plans that do not meet the Village Ordinance of a maximum distance of 350 feet apart on the plans.** Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged. Hydrants must be placed no further than 350 feet apart as measured by normal access routes used by Fire & Rescue Department apparatus.
 - Truck staging shall not decrease the width of the fire lanes to less than 30 feet.
 - Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
 - A smoke exhaust and removal system described in the DSPS Variance Dated May 7, 2013 for extending maximum exit distance (Transaction ID No. 2225212 and Site ID No. 789258) shall be installed and shown to be functioning as designed upon completion. Majestic shall install 45 smoke removal fans with each fan capable of moving 30,000 cfm for a total of two air changes per hour. This design was reviewed by Brinjac Engineering and recommended by them in a report dated March 4, 2013.
 - Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
4. The building shall be re-evaluated at such time a tenant(s) is secured.

5. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

- Site accessibility
- Fire Pump Location
- Pumper Pad
- Fire hydrant spacing

B. Conditional Use and Operational

- | | |
|--------------------------------|--------------------------------|
| 1. Standpipe outlet locations | Not shown at this time. |
| 2. Fire alarm pull stations | Not shown at this time. |
| 3. Emergency and Exit Lighting | Not shown at this time. |
| 4. Fire extinguishers | Not shown at this time. |

6. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

7. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.

8. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

9. **The following information must be submitted with the sprinkler plans for review:**

Building height:

Number of stories/floors:

Mezzanines:

Clear space:

Elevators:

Hazard class:

Commodity:

Maximum storage height:

Square footage, office space:

Square footage, Manufacturing including maintenance and equipment:

Square footage, receiving space:

Square footage, shipping space:

Square footage, warehouse space:

Exterior storage:
Fire protection:

10. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

11. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
12. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.
13. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
- a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
 - b. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
14. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
15. **Fire Pump:** At such time a Fire Pump becomes part of a fire sprinkler system, there shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress

from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180-16.

- **Storage:** The Owner and Tenant both need to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.

NOTE: Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.

16. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
17. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
18. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
19. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
20. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA-National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
21. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.

22. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.

NOTE: The Fire Protection Designer must meet with the Fire & Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.

23. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting.

24. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
25. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
26. **Fire Alarm System:** **The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel:** **Shall be addressable.** The annunciator panel type shall be

approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.

- f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- g. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

- 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue
Medical: Pleasant Prairie Fire & Rescue

Phone numbers:
Emergency: (262) 694-1402
Non-emergency: (262) 694-7105
Business: (262) 694-8027

- 27. **Knox Box:** Knox Boxes shall be provided for the building, a determination of the exact number required will need to be made during the pre-construction meeting. One by each riser door, fire pump room and other needed access routes. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
- 28. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
- 29. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

30. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset. An Emergency light shall be placed within the fire pump room. Emergency and Exit lighting will be inspected after sunset to assure it is adequate and meets the Code.
31. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - m. AED, in place at such time a tenant takes occupancy.
 - n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
32. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
33. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

MEMORANDUM

TO: Peggy Herrick, Assistant Planner

FROM: Ken Robers, Senior Building Inspector

SUBJECT: Final Site & Op comments/conditions for Majestic Badger Logistics Center located at 88th Avenue. 1,180,480 Sq. Ft new spec building.

DATE: May 2, 2013

The following are my comments/conditions:

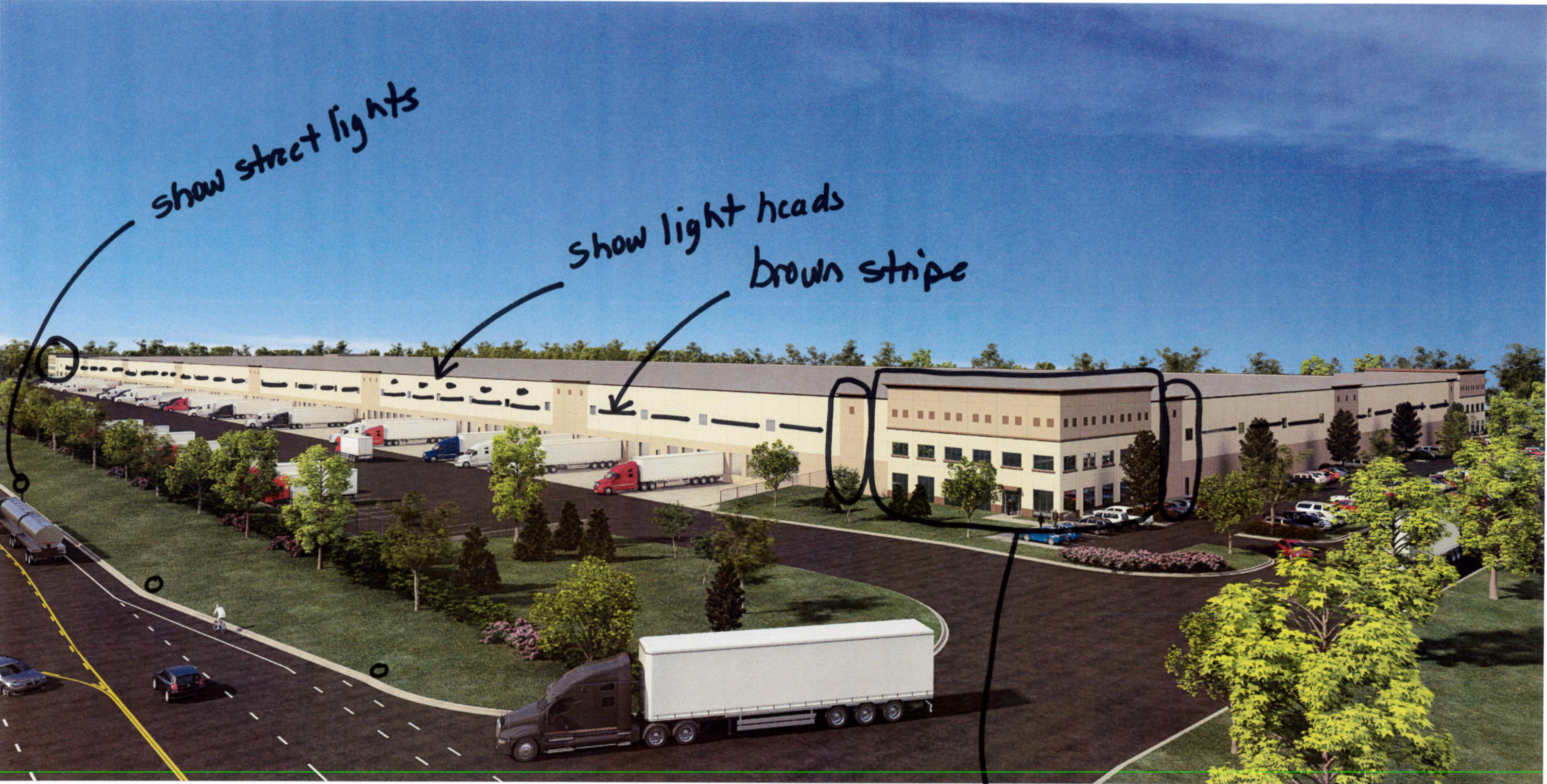
- 1) All building, plumbing, and HVAC plans will need to be designed to the IBC Codes, Wisconsin Plumbing Code and be State Approved prior to submitting (2 sets) for building permits from the Village of Pleasant Prairie.
- 2) As of September 1, 2000 Lighting plans are no longer reviewed at the state level. However, the Village will continue to review plans. The Lighting Worksheets L-1 through L-5 are required for municipal level review.
- 3) Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), 54.06(2), and 54.11. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire & Rescue Chief Paul Guilbert at 262-694-8027.
- 4) If water main is to serve both domestic and fire protection combined, the plans will need Department of Commerce approval and Village Fire & Rescue Department approval prior to obtaining permits and commencing work.
- 5) Complete erosion control measures, silt fence and gravel access drives must be installed per Wisconsin Construction Site Best Management Practice Handbook and be inspected within 24 hours of any land disturbing activity.
- 6) The Village of Pleasant Prairie requires that all commercial buildings provide a sampling manhole per Municipal Ordinance 285-18 C.
- 7) This parcel and building must comply with all requirements of Barrier-Free Design.
- 8) The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, **prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.**

- 9) All electrical contractors (High and Low Voltage) shall obtain a permit from the Village prior to beginning work.
- 10) All mechanical contractors shall obtain a permit from the Village prior to beginning work.
- 11) Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.
- 12) Sprinkler plans are required to be submitted to, and reviewed by the Village Fire & Rescue Department.
- 13) Any and all fire alarm installations require plan review and permit from the Village of Pleasant Prairie Fire & Rescue Department.

Should you have any questions, please contact me directly.

* * * *

Majestic

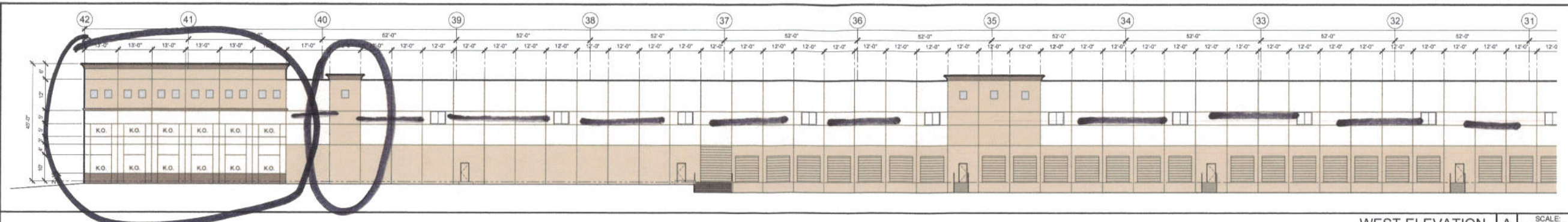


show street lights

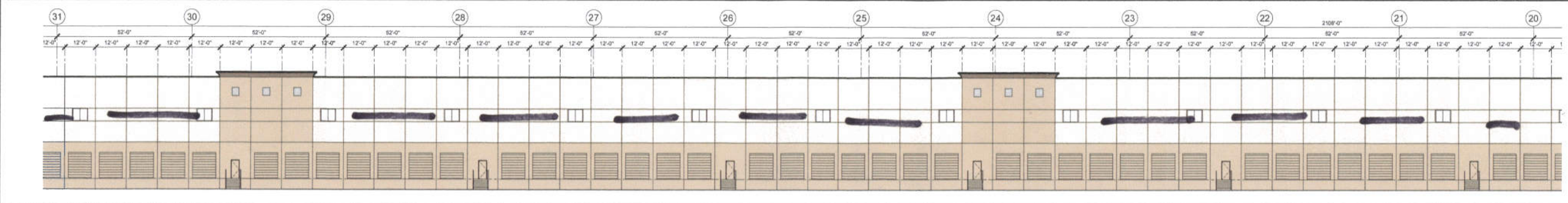
show light heads
brown stripe

(cannot be flat)

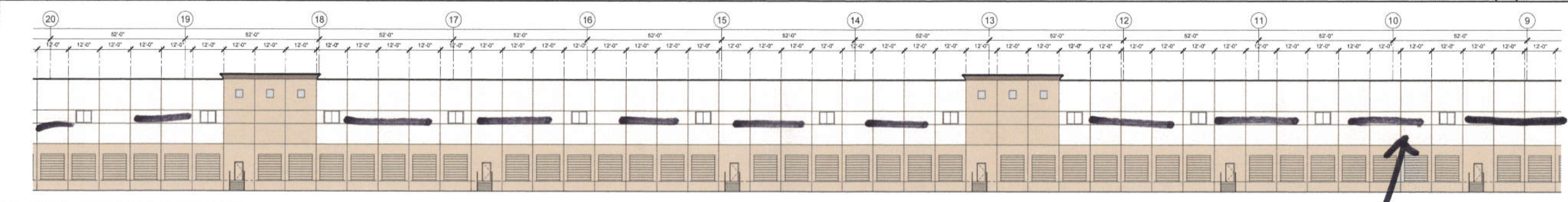
Need to be bumped out to show articulation



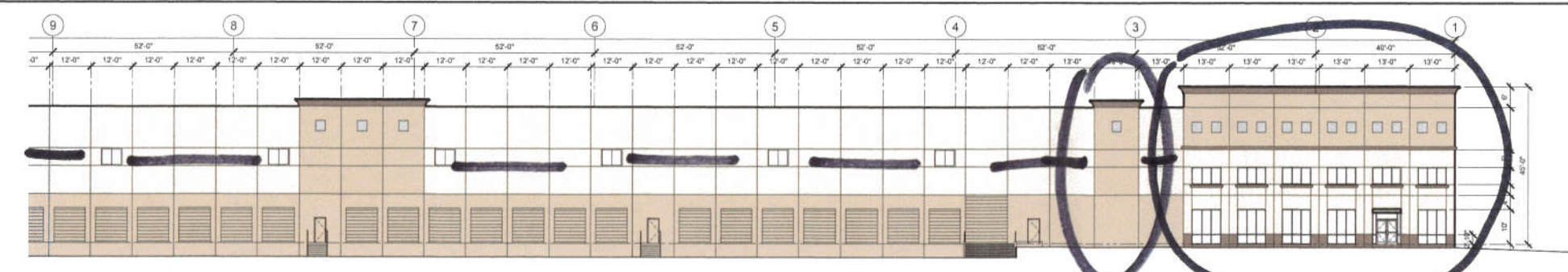
WEST ELEVATION A SCALE: 1/16" = 1'-0"



WEST ELEVATION B SCALE: 1/16" = 1'-0"

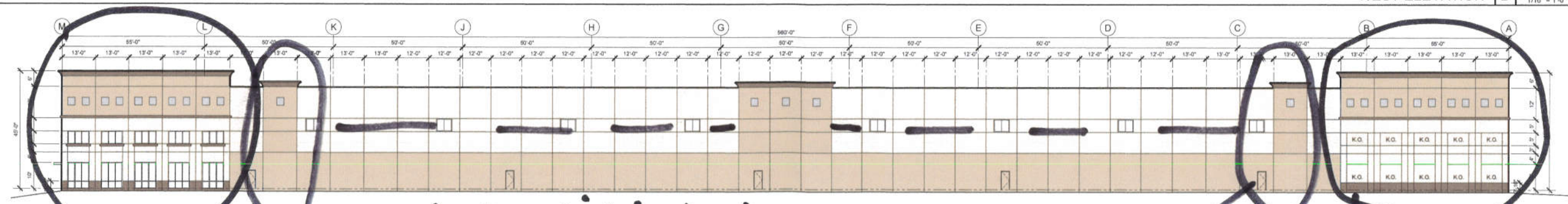


WEST ELEVATION C SCALE: 1/16" = 1'-0"



WEST ELEVATION D SCALE: 1/16" = 1'-0"

Paint detail (dark brown) stripe



SCHEME 1 NORTH ELEVATION E SCALE: 1/16" = 1'-0"

* show light locations

Bumpouts

COMMERCE CONSTRUCTION CO., L.P.
 13191 Conoverdale Parkway North
 South Floor
 City of Industry, California 91746-3487
 Telephone: (626) 899-0453
 License No. 723302

ELEVATIONS
 PROPOSED BUILDINGS
 Pleasant Prairie, Wisconsin

Drawing Plot Bar
 Use this plot bar to confirm drawing size and scale. Indicate or enlarge drawing as shown. If this plot bar is not used, the drawing may not be printed at the correct size.

DRAWN BY DATE
 JN 11-13-12

CCC JOB NO.
 6568

SHEET NO.
 A3

REVISIONS
 BY DATE

* Show bumpouts on west elevation & sw/nw corners.